

WARD: Central

CONTACT OFFICER: Andrew Cross

SITE ADDRESS: 6 All Saints Lane Bristol BS1 1JH

APPLICATION NO: 17/07108/F and
17/07109/LA Full Planning

DETERMINATION DEADLINE: 6 March 2018

Change of use to create a HMO (Sui Generis) for 8 occupants and associated works.

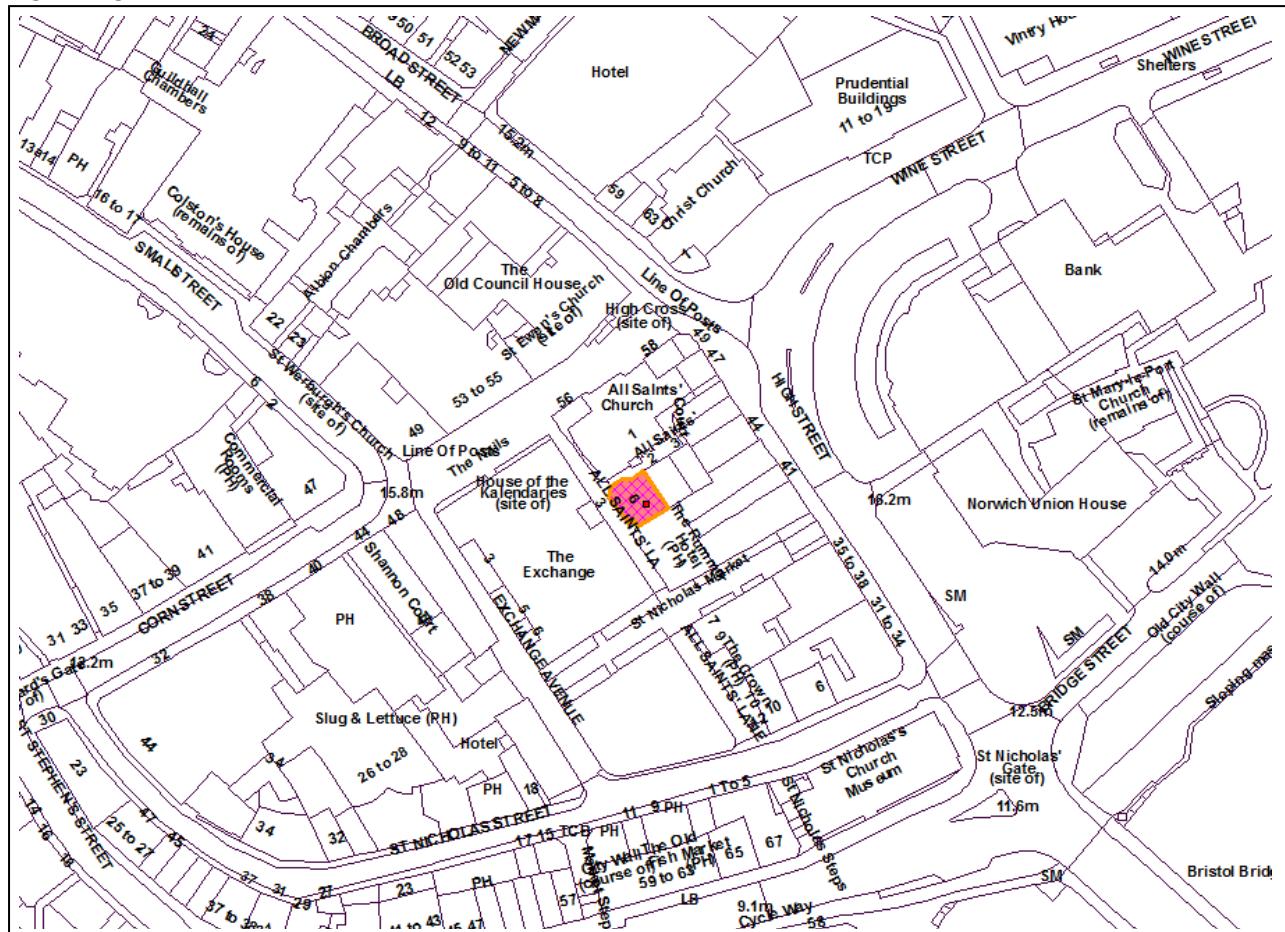
RECOMMENDATION: Grant subject to Condition(s)

AGENT: Your Design Bristol Ltd
605 Fishponds Road
Fishponds
Bristol
BS16 3AA

APPLICANT: Mr Fragapane

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH****BACKGROUND**

The current pair of applications under consideration have not been called in to committee, however the previous pair of applications were referred to planning committee by Councillor Paul Smith. These were refused at committee A. Given the previous involvement, it is considered that these applications should also be determined by committee A.

SITE DESCRIPTION AND APPLICATIONS

The application property is a four-storey Grade II Listed Building fronting All Saints Lane, set within the City and Queen Square Conservation Area. The property is surrounded by Listed Buildings, including the Grade I Exchange Building opposite, and the Grade II* Church of All Saints to the north. The site is accessible on foot only, from Corn Street, High Street and St Nicholas Street. The property is currently vacant, with last use being as a solicitor's office (use class A2).

The application proposes the change of use of the building to residential use, to form a House in Multiple Occupation (HMO) (sui-generis use class) comprising 8 bedrooms with associated communal living space. This would occur within the existing building envelope, with minor internal alterations proposed.

See plans and supporting documents for full details.

RELEVANT HISTORY

A parallel application for Listed Building Consent has been submitted (application 17/07109/LA) and is currently under consideration.

17/05307/F - Change of use from solicitors office (Use Class A2) to student accommodation (Use Class C3). REFUSED (committee overturn) for the following reasons:

The proposal fails to secure the optimum viable use for the property, with the use as a student accommodation failing to safeguard the features and significance of the Listed Building. Further, the loss of historic fabric; insertions into historic spaces and disruption to the historic plan form represent harm to the Listed Building, and hence fail to safeguard or enhance the designated heritage asset. The proposal is therefore contrary to policy BCS22 of the Bristol Local Plan, Core Strategy (2011); and policy DM31 of the Bristol Local Plan, Site Allocations and Development Management Policies (2014); section 66 of the Planning (Listed Buildings & Conservation Areas) Act 1990 and national guidance set out in the National Planning Policy Framework.

The proposal would result in the loss of a purpose built office building, which would cause harm to the stock and variety of available employment floorspace within the city centre, and would introduce a use that removes an existing active ground floor frontage and would not contribute to the vitality or viability of this part of the City Centre. The proposal is therefore contrary to policy BCS7 of the Bristol Local Plan, Core Strategy (2011); and policy BCAP7 of the Bristol Local Plan, Central Area Plan (2015).

The proposal represents an over-intensive use of the building which results in poor quality living accommodation for future occupiers and inappropriate servicing provision, with awkward accessibility to the basement refuse/recycling and cycle storage provision; kitchen/dining facilities located in the basement without natural light or ventilation; and limited toilet/shower facilities which are not conveniently located. The proposal is therefore contrary to policies BCS20 and BCS21 of the Bristol Local Plan, Core Strategy (2011); and policies DM23 and DM30 of the Bristol Local Plan, Site Allocations and Development Management Policies (2014).

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17/05308/LA - Internal works in association with conversion to student accommodation. REFUSED (committee overturn) for the following reason:

The proposal fails to secure the optimum viable use for the property, with the use as a student accommodation failing to safeguard the features and significance of the Listed Building. Further, the loss of historic fabric; insertions into historic spaces and disruption to the historic plan form represent harm to the Listed Building, and hence fail to safeguard or enhance the designated heritage asset. The proposal is therefore contrary to policy BCS22 of the Bristol Local Plan, Core Strategy (2011); and policy DM31 of the Bristol Local Plan, Site Allocations and Development Management Policies (2014); section 66 of the Planning (Listed Buildings & Conservation Areas) Act 1990 and national guidance set out in the National Planning Policy Framework.

16/06699/F - Change of use from solicitors office (Use Class A2) to student accommodation (Use Class C3). WITHDRAWN.

16/06700/LA - Internal works in association with conversion to student accommodation. WITHDRAWN.

The above pair of applications were withdrawn following concerns raised relating to:

- o heritage impact (inappropriate alterations to interior of Listed Building)
- o residential amenity (noise from proposed air source heat pump)
- o servicing (refuse/recycling, cycle storage and move-in/move-out arrangements)

90/01165/L - Minor alterations and complete refurbishment. PERMISSION GRANTED.

RESPONSE TO PUBLICITY AND CONSULTATION

Public consultation was undertaken by way of press and site notices, along with individual letters sent to eleven surrounding properties. Two written responses were received:

Councillor Paul Smith has commented as follows:

I'm not sure how many times this application is going to come back. It has already been established at planning committee that this area has an over concentration of student accommodation and this is not an appropriate use of this listed building.

One written response was received from a neighbouring occupier, raising concerns that can be summarised as follows:

Principle (see key issue A)

- o There should not be any students in the old city

Highways and Servicing (see key issue B)

- o Lack of infrastructure in the Old City to support multiple dwellings
- o Lack of facilities for refuse/recycling collections

Residential Amenity (see key issue C)

- o Loss of privacy as building looks into neighbouring building
- o Noise
- o Security

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Conservation (see key issue D)

- o Heritage impact

The Conservation Advisory Panel has commented as follows:

The Panel was not convinced that the issues raised in its two previous minutes relating to the change of use of this building had been adequately addressed, especially with regard to bin and bike storage.

Minute for 16/06700/LA, repeated for 17/05308/LA:

The Panel does not object to this application.

However, the Panel would like to make the point that this is a poor quality application that is not worthy of a listed building of this nature. The heritage assessment is of an extremely poor quality and the application demonstrates very little assessment or understanding of the historic value of this building. A much more detailed audit of this building must be undertaken, alongside the production of a Statement of Significance. It would appear that internally this building remains intact and is of great architectural and historic significance. As such any works to this building must be closely monitored.

The cycle storage and bin store are not situated in an easily accessible location. This element of the design should be reconsidered.

The City Council Conservation Officer has commented as follows:

Summary

The proposed change of use is acceptable in principle; however the proposed floor plans and required alterations to existing wall and room fabric will have a negative impact on the special interest of this building, and the proposed use of a principle front room as a bikes store is unacceptable. The degree of harm posed by previous applications, since refused by committee on heritage grounds, has been increased and we are no longer satisfied that it is in the public benefit to approve the scheme with this additional negative impact on the special interest of the building. We object to the current proposals for the degree of harm posed to the asset.

The Heritage Assets

All Saints House is a significant work by the architect George Oatley. It is executed to an extremely high standard of design and material quality, and retains a high degree of original fabric and authenticity. The building was originally designed for its current office use, with individual office spaces in the traditional chambers arrangement.

The asset has high significance in its architect, Oatley, who was a prolific and skilled designer in a variety of styles. All Saints Court is an essay in well-proportioned Edwardian Baroque architecture, though incorporates some interesting pre-modernist ideas. The use of a glazed curtain wall to the inner courtyard and the early use of concrete slab floors cast into steel beams make this an interesting building for its evidential value. This aspect is further enhanced by the high quality materials and execution throughout the building, both internally and externally.

The choice of Ham stone from South Somerset is unusual for a building in Bristol, and may have been influenced by the architects work in the same year on the Western Gazette offices in Yeovil: a town characterised by this warm golden stone.

The building has retained its intended office use since it was built, with very few alterations. Some of the fireplaces have had panels boarded over, but are likely to retain the luscious green glazed tiles

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behind. In other places new glazed partitions have been inserted for fire compartmentalisation, but the harm caused is not extensive and generally reversible.

Most rooms retain their original plaster cornice, chair rail, skirting, fire surrounds, window and door architraves, windows, and door leaves.

Proposals

The proposals seek to convert the building from office use to a house of multiple occupancy. The proposals seek to compartmentalise a number of the existing rooms with new partition walls. Further alterations will remove the existing walls between the office chambers on both the principal floors. There is no indication how servicing and soil waste pipes will be dropped through the building.

The basement area is proposed for use as bin and storage whilst the main spaces will form subterranean communal kitchen, dining, and shower rooms for the student flat.

The main change from the previous application, is that the principle front room in the south-west corner of the ground floor is proposed to be utilised for cycle storage.

Recommendations

The existing interiors represent a well preserved and high quality suite of spaces, all conserved in good condition, and with numerous original fixtures and fittings. The NPPF requires the Local Authority to put great weight in the conservation of these spaces as being key elements of the special interest.

The proposals seek to alter existing layout, demolishing some internal walls, and inserting new partitions within a number of the original rooms. The degree of compartmentalisation and loss of fabric is of extreme concern, and poses harm to the special interest of the building through the loss of integrity of the original planform, room spaces, and original features.

Our most significant concern is reserved for the use of one of the principal rooms on the ground floor as cycle storage. The former office space was designed and finished to a high standard, and whilst there has been an opening introduced into the neighbouring room the room continues to enjoy a prominent location overlooking All Saints Lane. We consider that the proposed use is incongruous, and out of keeping with the significance of this space.

We therefore have objections to the degree of harm posed by the intended compartmentalisation of this building internally, and the proposed use of a principal room for servicing the building; we consider it to be intensive, and to respond poorly to the historic fabric. The degree of harm posed is not-substantial, but of a moderate degree. The degree of public benefit of providing a multiple occupancy home is unclear.

Bristol Waste Company has commented as follows:

Following a review of the documentation for the development at 6 All Saints Lane, Bristol Waste has considered the waste and recycling provision for this development. For an 8 bed HMO, we would recommend that the following waste and recycling provision is allowed for:

- o 3 x 180 litre refuse bins
- o 3 x green recycling boxes
- o 3 x black recycling boxes
- o 3 x food waste caddies

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If collections are being carried out by BWC, the property would be on a standard kerbside collection service with recycling collected weekly and refuse collected every other week. All containers should be presented at the kerbside on the relevant collection day.

The Management Plan states that refuse and recycling will be dealt with by a private contractor. If a private waste collection service is in place we will not provide the containers. The contractors will need to be in possession of a valid waste carriers license and will need to pay (by weight) to dispose of the waste. If using BWC facilities this would need to be taken to our Avonmouth HWRC site as our St Philips site is open to residents only. Waste being removed by paid contractors will be classified as commercial waste and therefore can no longer be disposed of via normal household waste facilities. It is also mentioned in the Management Plan that a similar arrangement is in place at the landlord's other properties. We would like to point out that the above mentioned restrictions and requirement will also apply at those properties.

We would urge at this stage of the planning process that the developers refer to the Planning Guidance for Waste and Recycling produced by Bristol Waste Company. When considering the layout, access and the design of the bins stores, this guide contains a wealth of information regarding the bin volumes, requirements etc. <http://www.bristolwastecompany.co.uk/resources/>

The City Council Highways Officer has commented as follows:

Principle / Property History

The application proposal seeks approval for the change of use to create a HMO (Sui Generis) for 8 occupants and associated works. The site has been subject to a previous application (17/05307/F) in which TDM raised concerns regarding the waste and cycle provision.

Travel Information Pack

A Travel Information Pack must be produced and issued to all students. This should include information on public transport including (First Bus, Wessex, National Express, Falcon, Megabus and National Rail Enquiries) and information on cycle shops/repairs, local taxi companies and supermarket deliveries. The pack should promote: www.travelwest.info, bus checker app www.travelwest.info/apps and www.betterbybike.info Cycle maps can obtained from www.betterbybike.info/maps/cycle-maps

Traffic Management

The Management Plan submitted proposes that students would have a two hour slot spread over Saturday and Sunday during which they can move in, with a shorter slot for moving out. Whilst in principle this is acceptable no clear location has been identified where this would take place. As per previous TDM comments 'the most sensible location would be to utilise the on-street pay and display parking on St Nicholas Street. To ensure there is space available at least one bay must be reserved and evidence provided as part of a revised Management Plan'. This has now been provided within the management plan which is deemed to be acceptable.

Car Parking & Cycle Parking

The application does not propose to provide any car parking which given the highly sustainable location of the site is acceptable. In respect of cycles the site plan submitted proposes to provide an internal store on the ground floor and two external Sheffield Stands. Whilst the Sheffield Stands are acceptable a Section 171 Licence would be required to install them.

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The site plan proposes a store within the basement. This is unacceptable as operatives would be required to carry waste up and down the stairs. Due to its location below ground the store must be independently ventilated. It is noted on plans the waste storage will be mechanically ventilated however no further information has been given regarding this. As the waste will be collected privately this must be privately disposed of, not taken to the local recycling centre.

TDM raises concerns regarding the excessive number of times per week waste will be collected. This either demonstrates a lack of quantum is provided or too much waste will be generated. The number of collection days must be reduced.

Construction Management

Given the restrictions on the existing highway network the applicant should be required to produce and submit a construction management plan in writing for approval to the Local Planning Authority, before work commences. This would need to be adhered to throughout the construction period and should set out details regarding:

- o Parking of vehicles of site operatives and visitors.
- o Routes for construction traffic.
- o Hours of operation.
- o Method of preventing mud being carried onto the highway.
- o Pedestrian and cyclist protection.
- o Proposed temporary traffic arrangements including hoardings and/or footway closures.
- o Arrangements for turning vehicles.
- o Arrangements to receive abnormal loads or unusually large vehicles.
- o Methods of communicating the Construction Management Plan to staff, visitors and neighbouring residents and businesses.

Recommendations

TDM have evaluated the proposed development and have come to the conclusion that further revised plans are required before a final recommendation can be made.

RELEVANT POLICIES

City and Queen Square Conservation Area Character Appraisal

Planning (Listed Buildings & Conservation Areas) Act 1990

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development

Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan

(Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development

Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

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Policy BCS2 of the Core Strategy 2011 refers to the City Centre and specifies that Bristol City Centre's role as a regional focus will be promoted and strengthened. Development will include mixed uses for offices, residential, retail, leisure, tourism, entertainment and arts and cultural facilities. Policy BCS8 relates to employment floorspace and expresses that outside designated Principal Industrial and Warehousing Areas (PIWA) employment land will be retained where it makes a valuable contribution to the economy and employment opportunities.

Policy BCS18 of the Core Strategy states that all new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities. Policy DM2 includes consideration of shared and specialist housing and expresses that houses in multiple occupation and specialist student housing schemes will be acceptable within the city centre, although expresses that they will not be permitted where the development would harm residential amenity or character of the area through noise and disturbance from levels of activity; levels of on-street parking that cannot be reasonably accommodated, or regulated through parking control measures; detrimental impact of physical alterations to buildings; or inadequate storage for refuse/recycling and cycles. Policy BCAP4 of the Bristol Local Plan Bristol Central Area Plan refers to student housing and specifies that specialist student housing schemes that contribute to the diversity of uses within the local area will be acceptable within Bristol City Centre unless it would create or contribute to a harmful concentration of specialist student housing within any given area.

The application property is not set within a designated frontage, and is located in a position that has a significantly lower footfall than the surrounding busy commercial streets. The last use as a solicitors office falls within the A2 use class rather than as a B1(a) office. The application incorporates marketing information in support of the loss of this A2 use.

The application property has been actively marketed, with the marketing agents expressing that at the 15th December 19 months of marketing had been undertaken. Marketing is ongoing and the premises can be found online available to rent. Within the submitted marketing statement it has been expressed that there has been very limited interest in a commercial use for the premises, with those viewing deciding not to take on the premises due to constraints relating to access and building layout.

It is acknowledged that since the previous refusal, which was in part on the grounds of loss this purpose built office space, at the time of planning committee a further additional 4 months of active marketing has been undertaken, which has been unsuccessful in securing a tenant under the existing use of the building.

On the basis of the information provided, and in recognition of the mixed use character of the area along with the fact the site is not located within a designated frontage, it is considered acceptable that alternative uses are considered for the site.

The application site is set within a mixed use area, incorporating commercial and residential accommodation, including student accommodation. It should be noted that the proposed sui-generis use HMO would be a shared residential use, and the nature of this use is such that the building could be occupied by professionals, and could be occupied by students. Whilst it is acknowledged that there has been an increase in student accommodation within the city centre within recent years, there is not considered to be an over-concentration of such uses within the immediate vicinity of the application site, and indeed the previous proposal for student accommodation within the building was not refused on that basis. Further, the principle of student accommodation within the city centre is supported by current local planning policy.

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Overall therefore, the proposed change of use of the building to an 8-bedroom HMO is considered to be acceptable in principle. Other related issues of servicing, residential amenity, heritage and sustainability will be discussed further within the key issues to follow.

(B) HIGHWAYS AND SERVICING

Policy BCS10 expresses that development should be located where sustainable travel patterns can be achieved and sets out transport user priorities with sustainable means being primary considerations. Policy DM23 requires adequate access to sustainable transport means and requires adequate provision in relation to servicing.

The application site is set in a sustainable location, within the city centre, close to a wide variety of shops, services and public transport links. The location is such that there is no objection in relation to no off-street parking provision for the shared residential accommodation proposed.

Site constraints are such that there is very limited space for external cycle storage. Four short-term cycle storage spaces are proposed to the front of the property, within the site boundary, whilst the principle cycle store would be provided internally at ground floor level. The provision of internal cycle storage at ground floor level (rather than at basement level as previously proposed) is in response to previous concerns in relation to awkward servicing, which in part led to the refusal of the previous proposal my members at planning committee.

The internal cycle store would be covered, secure and conveniently located, and is considered a reasonable solution given that there is virtually no external space attributed to the property. The proposed external store provides some quickly accessible cycle parking for shorter-term use. On balance therefore the cycle storage arrangement is considered acceptable. The City Council Highway Officer has not objected to this arrangement.

The site is not located on a road frontage, with pedestrian access only. A package of information has been prepared in relation to servicing of the property, in recognition of this.

Refuse and recycling would be collected from the internal store by a private contractor, and emptied into a collection vehicle parked on St Nicholas Street or Broad Street, in accordance with the submitted management strategy. This would avoid the need for residents to move refuse and recycling receptacles to a collection point, and would prevent receptacles being left out on one of the surrounding highways, causing an obstruction. The Highways Development Management Officer has raised concern in relation to the proposed number of collections, considering three collections per week to be excessive. The planning agent has subsequently been approached in this regard and has expressed that the number of collections proposed was in response to earlier comments from highways officers, however the number of collections can be reduced if preferable. This could reasonably be secured by condition if members deem necessary. There is adequate capacity within the refuse/recycling store proposed to enable less frequent collections if preferred.

A move-in/move-out strategy is also incorporated into the proposal, in the event that the HMO is occupied by students, with allocated time slots for moving in/out in order to avoid obstruction of surrounding highway(s) on moving days. Travel packs are also to be issued to residents, providing information on transport and access matters.

On the basis of the above, and given the imposition of relevant planning conditions, the proposal is considered acceptable in relation to highways and servicing matters.

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Policy BCS18 requires residential development to provide sufficient space for everyday activities and enable flexibility and adaptability by meeting appropriate space standards. Policy BCS21 expects development to create a high quality environment for future occupiers. Policy DM2 requires development to provide a good standard of accommodation by meeting relevant requirements and standards. Policy DM30 expects alterations to existing buildings to safeguard the amenity of the host premises and neighbouring occupiers.

Noise concerns raised under an earlier scheme have been overcome through the removal of the air-source heat pump from the scheme. While some noise may be generated by future residents, it is considered that refusal of residential accommodation in this busy city centre environment of mixed uses is not justified on these grounds.

A neighbouring resident raised concern of the proposed residential conversion resulting in overlooking of the adjoining building, which comprises residential flats. The internal light well at the application property is also shared with the neighbouring property, with the neighbouring property having windows within the eastern side of the light well, whilst the windows to the other three sides serve the application property. The eastern western side of the light well is fully glazed and serves the staircases and landings at 6 All Saints Lane. The northern and southern sides of the light well contain a total of five windows, currently serving office space, which are proposed as bedroom windows. Two of these would be the sole windows serving bedrooms, while the other three would serve bedrooms that also benefit from additional windows. To the eastern side of a light well are a number of windows serving the neighbouring residential building, and while the use of these windows is not certain, it is considered unlikely that these windows wold be principle windows serving main living areas at the neighbouring flats. It should be noted that no additional windows are proposed, and that the existing interrelationship of windows within this historic light well is an established and historic arrangement that would not be altered by the change of use proposed.

With the exception of three internal partition additions, the proposal works with the existing plan form of the building and in doing so achieves good room sizes. Communal living space is located across three floors, with the kitchen, dining and shower rooms at basement level; a ground floor living room; and a first floor reading room. Overall therefore, the proposal is considered to achieve a good standard of accommodation for future occupiers.

Security was raised as a concern within the objection comment received. It is considered that securing the occupation of the building would have a positive effect in terms of security, through the re-introduction of activity associated with the building and natural surveillance by virtue of the occupation of the building.

On the basis of the above it is concluded that the proposal is acceptable in residential amenity terms.

(D) HERITAGE

Policies BSC22 and DM31 relate to heritage assets (including Listed Buildings and Conservation Areas) and seek to preserve or enhance heritage assets. The NPPF defines 'conservation' as 'the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance'. Sections 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 express the need for special regard to be given to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, while section and 72(1) requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

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The application property is a well preserved example of an historic office building. The proposal works with the existing plan form, with limited disruption to historic fabric and plan form. A separating lobby is proposed to the ground floor to facilitate separate access to a communal living room and one of the bedrooms proposed, which would not disrupt the existing ceiling layout (see plans for details). This replicates an existing similar arrangement at first floor level. A similar partition is proposed between the ground floor cycle store and a bedroom, and a separating partition at basement level to facilitate the provision of multiple shower rooms.

A small loss of historic fabric would occur at basement level to adjoin kitchen and dining areas, which is considered reasonable given the benefit of securing the ongoing viable use of the building. An existing interconnecting door would be stopped up using studwork, however the door and features should be retained to enable reversal in the future.

The layout proposed, and nature of new openings and partitions, is as a direct result of consultation and liaison with the City Council Conservation Officer. While the function of some spaces has changed since the previous submission, the physical layout of rooms proposed is identical. Under the previous application the Conservation Officer commented: "I assess that there is a low degree of not-substantial harm to the Listed building through the formation of new openings through existing fabric, and the subdivision of some spaces. Public benefit might be demonstrated through the re-use of the building though this needs to be justified. Other environmental enhancements may also be considered where they are proposed, but these need to be secured as part of the planning conditions. Broadly we have no grounds to object to the proposals. We require a large amount of additional detail to ensure that the proposals are carried out with minimal harm to the building"

Under the current proposal the Conservation Officer has raised concern in relation the use of a principle ground floor front room as a cycle store, which is considered to tip the balance in terms of harm, and has led to amended comments stating: "The proposed change of use is acceptable in principle; however the proposed floor plans and required alterations to existing wall and room fabric will have a negative impact on the special interest of this building, and the proposed use of a principle front room as a bikes store is unacceptable. The degree of harm posed by previous applications, since refused by committee on heritage grounds, has been increased and we are no longer satisfied that it is in the public benefit to approve the scheme with this additional negative impact on the special interest of the building. We object to the current proposals for the degree of harm posed to the asset." (Full comments are provided above).

It should be noted that at present the ground floor front room could be used as cycle storage without the need for any consent. That said, if members do feel that the use of this room is unacceptably harmful, then it is suggested that the rear ground floor room is instead used for cycle storage as this room is of less significance in terms of room hierarchy. This would however result in the cycle storage being less conveniently positioned for future residents. Whilst this could have been amended during the course of the application, the case officer considers that the current arrangement represents an appropriate balance between accessibility, servicing requirements, and heritage considerations. The arrangement could easily be amended by condition however if members see fit.

On balance it is considered that the proposal is acceptable in heritage terms, with identifiable benefits of bringing the premises back in to use. Conditions are recommended, principally in relation to detailed information to ensure that any physical alterations safeguard the listed building. As such the character and appearance of the host building is safeguarded, as is the setting of surrounding Listed Buildings and the character of the Conservation Area. The proposal is therefore considered acceptable on heritage grounds and it is recommended that Listed Building Consent be approved.

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Current planning policy (BCS13-16) within the adopted Bristol Local Plan, Core Strategy (2011) requires new development to be designed to mitigate and adapt to climate change and meet targets to reduce carbon dioxide emissions. This should be achieved, amongst other measures, through efficient building design, the provision of on-site renewable energy generation to reduce carbon dioxide emissions by at least 20% based on the projected residual energy demand of new buildings and extensions to existing buildings, and for new development to mitigate against the risk of flooding. The approach proposed should also be supported by the provision of a sustainability statement and an energy strategy.

It has been demonstrated that the use of solar PV panels is not a feasible option due to shading of the panels, and concern is also raised in relation to harm to the Listed Building, Setting of surrounding Listed Buildings and character of the Conservation Area through the use of PV panels in this instance.

Due to the unsuitability of solar PV's, the use of an air source heat pump was proposed under a previous application. This however gave rise to serious concern in residential amenity terms when considering noise impact upon neighbouring occupiers and future occupiers of the site, which could not reasonably be overcome due to site constraints.

The current proposal therefore does not incorporate any provision for on-site renewable energy generation, with a statement submitted as part of the application to justify this approach. Given the constraints of the site coupled with the sensitivity of the site and its context, it is accepted in this instance that on-site renewable energy generation cannot reasonably be accommodated on site.

The proposal works within the existing building envelope and would not increase flood risk.

On the basis of the above, and when considering the balance of various issues, the proposal is considered acceptable in relation to sustainability and flood risk.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

How much Community Infrastructure Levy (CIL) will this development be required to pay?

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL is payable.

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The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)**2. Building Recording**

Prior to work commencing a Building Record to Level II of Historic England's Historic Buildings: A Guide to Good recording Practice shall be undertaken, submitted to the Local Authority and approved in writing. This shall be carried out by an accredited professional approved by the Local Authority.

Reason: To ensure the appropriate recording of the Listed Building

3. Construction Management Plan

No development shall take place including any works of demolition until a construction management plan or construction method statement has been submitted to and been approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period. The statement shall provide for:

Parking of vehicles of site operatives and visitors
 arrangements for deliveries to the site
 hours of operation
 pedestrian and cyclist protection
 proposed temporary traffic restrictions

Reason: In the interests of safe operation of the highway

4. Large Scale Details

Prior to the relevant element being commenced the following shall be submitted to the Local Planning Authority and approved in writing:

1. Section details to 1:5 and elevation details at 1:10 of all proposed new joinery showing all proposed mouldings, materials, and showing all new material connections at floor, wall and ceiling level

2. Section details to 1:5 of all proposed infilled doors showing how the existing door leaf, frame and architraves will be preserved, all new, materials and fabrication, and showing all new material connections at floor, jamb and head.

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

3. Section details at 1:5 of the proposed new protection screens to the stair balustrades including all proposed new fixings.
4. Section details to 1:5 of all proposed new partitions, solid and glazed, showing all new materials and fabrication, and showing all new material connections at floor, ceiling and walls.
5. Elevation and section details of all proposed new internal doors at a scale of 1:10 and 1:5 respectively and showing all proposed mouldings and architraves.
6. Structural interventions above new openings at a scale of 1:10

The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: To safeguard the Listed Building and its features.

5. Building Services

Prior to the commencement of the element detailed plans and sections to a suitable scale showing all new building services shall be supplied to the Local Planning Authority and approved in writing. These shall show all proposed drainage, ventilation, gas, fire protection, and power runs, and all locations of proposed external flues or vents. This shall include full details of ventilation to the refuse/recycling store. The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: In the interests of amenity and to safeguard the Listed Building and its features.

Pre occupation condition(s)

6. Internal features

All existing internal decoration features, including plaster work, ironwork, fireplaces, doors, windows, staircases, staircase balustrade and other woodwork, shall remain undisturbed in their existing position, and shall be fully protected during the course of works on site unless expressly specified in the approved drawings.

Reason: In order that the special architectural and historic interest of this Listed Building is safeguarded.

7. Partitions - Listed Building

All new partitions shall be scribed around the existing ornamental plaster mouldings.

Reason: To ensure that the character, appearance and integrity of the building is not prejudiced, thereby preserving its special architectural or historic interest.

8. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s)

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

9. Completion and Maintenance of Cycle Provision - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the cycle parking provision shown on the approved plans has been completed, and thereafter, be kept free of obstruction and available for the parking of cycles only.

Reason: To ensure the provision and availability of adequate cycle parking.

10. Communal Living Space

The communal living rooms shall be provided in accordance with the approved plans prior to the first occupation of the house in multiple occupation hereby approved, and retained and maintained as such thereafter.

Reason: To ensure the provision of good quality communal living space.

Post occupation management

11. Property Management

The development shall be carried out in full accordance with the approved Management Plan throughout the lifetime of the development hereby approved.

Reason: In the interests of amenity and highway safety.

12. Use of Refuse and recycling facilities

Activities relating to the collection of refuse and recyclables and the tipping of empty bottles into external receptacles shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays.

Reason: To safeguard the amenities of nearby occupiers

List of approved plans

13. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Existing elevations, site location plan and site plan, received 9 January 2018

Existing floor plans and roof plan, received 9 January 2018

Proposed elevations, received 9 January 2018

Proposed floor plans and roof plan, received 9 January 2018

Proposed sections, roof plan and floor plans, received 9 January 2018

Energy justification, received 9 January 2018

Management plan, received 9 January 2018

Development Control Committee A – 4 April 2018

Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH

Marketing report part 1, received 9 January 2018

Marketing report part 2, received 9 January 2018

Support Planning Statement, received 9 January 2018

Reason: For the avoidance of doubt.

B) APPLICATION No. 17/07109/LA

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Listed Building Consent or Conservation Area Consent

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended by Section 51 of the Planning and Compulsory Act 2004.

Pre commencement condition(s)

2. Building Recording

Prior to work commencing a Building Record to Level II of Historic England's Historic Buildings: A Guide to Good recording Practice shall be undertaken, submitted to the Local Authority and approved in writing. This shall be carried out by an accredited professional approved by the Local Authority.

Reason: To ensure the appropriate recording of the Listed Building

3. Large Scale Details

Prior to the relevant element being commenced the following shall be submitted to the Local Planning Authority and approved in writing:

1. Section details to 1:5 and elevation details at 1:10 of all proposed new joinery showing all proposed mouldings, materials, and showing all new material connections at floor, wall and ceiling level

2. Section details to 1:5 of all proposed infilled doors showing how the existing door leaf, frame and architraves will be preserved, all new, materials and fabrication, and showing all new material connections at floor, jamb and head.

3. Section details at 1:5 of the proposed new protection screens to the stair balustrades including all proposed new fixings.

4. Section details to 1:5 of all proposed new partitions, solid and glazed, showing all new, materials and fabrication, and showing all new material connections at floor, ceiling and walls.

5. Elevation and section details of all proposed new internal doors at a scale of 1:10 and 1:5 respectively and showing all proposed mouldings and architraves.

6. Structural interventions above new openings at a scale of 1:10

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: To safeguard the Listed Building and its features.

4. Building Services

Prior to the commencement of the element detailed plans and sections to a suitable scale showing all new building services shall be supplied to the Local Planning Authority and approved in writing. These shall show all proposed drainage, ventilation, gas, fire protection, and power runs, and all locations of proposed external flues or vents. This shall include full details of ventilation to the refuse/recycling store. The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: In the interests of amenity and to safeguard the Listed Building and its features.

Pre occupation condition(s)

5. Internal features

All existing internal decoration features, including plaster work, ironwork, fireplaces, doors, windows, staircases, staircase balustrade and other woodwork, shall remain undisturbed in their existing position, and shall be fully protected during the course of works on site unless expressly specified in the approved drawings.

Reason: In order that the special architectural and historic interest of this Listed Building is safeguarded.

6. Partitions - Listed Building

All new partitions shall be scribed around the existing ornamental plaster mouldings.

Reason: To ensure that the character, appearance and integrity of the building is not prejudiced, thereby preserving its special architectural or historic interest.

List of approved plans

7. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Existing elevations, site plan and site location, received 9 January 2018

Existing floor plans and roof plan, received 9 January 2018

Proposed elevations, received 9 January 2018

Proposed floor plans, roof plan and section, received 9 January 2018

Proposed floor plans, roof plan and section, received 9 January 2018

Proposed floor plans and roof plan, received 9 January 2018

Heritage Statement, received 9 January 2018

Reason: For the avoidance of doubt.

Supporting Documents

1. **6 All Saints Lane**

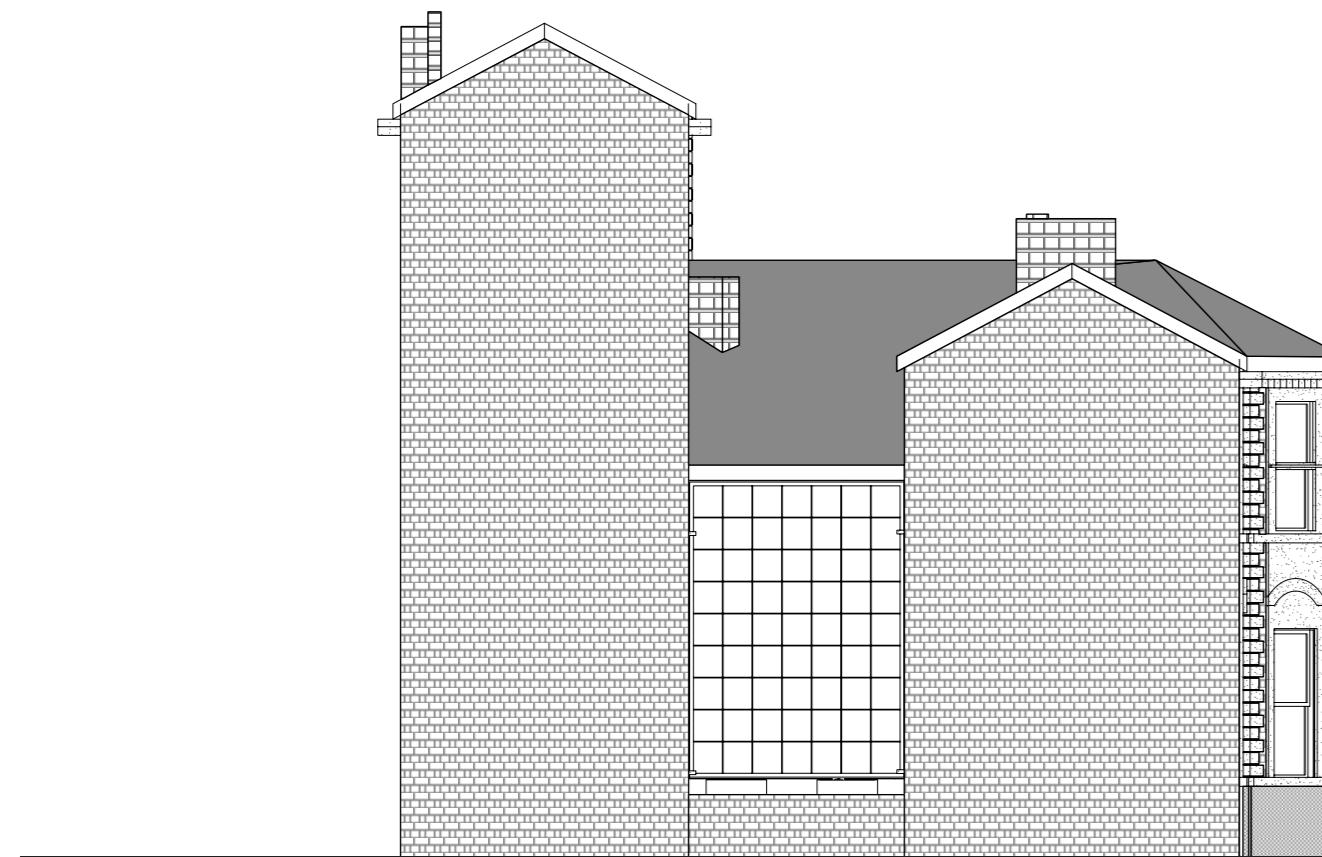
1. Site location and existing elevations
2. Proposed floor and roof plans
3. Proposed elevations
4. Heritage Statement
5. Management Plan



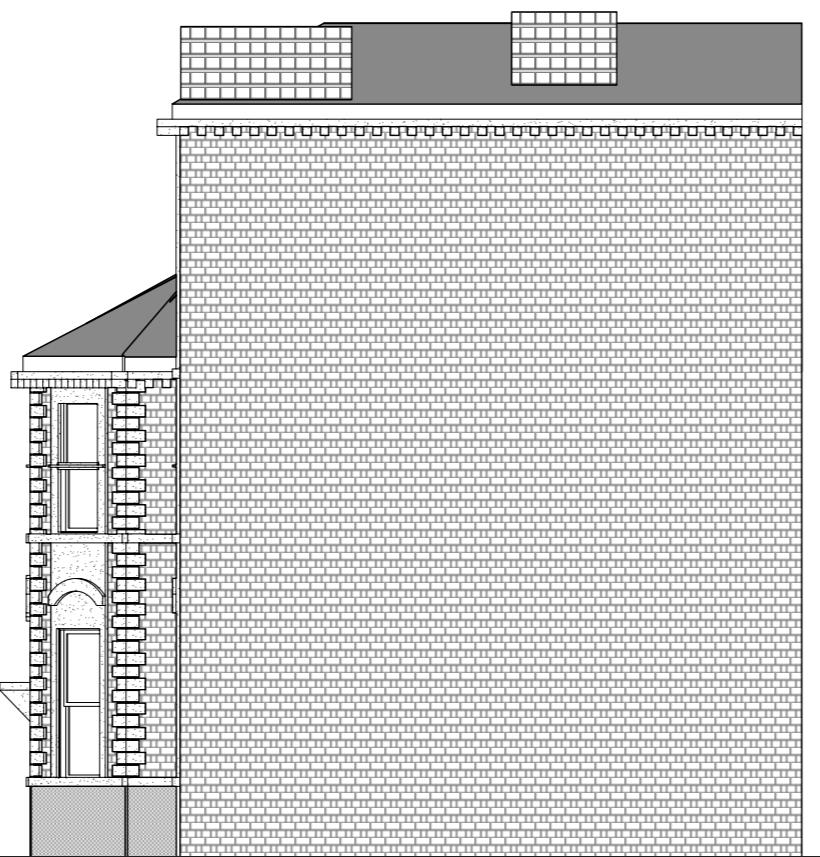
Front Elevation @ 1:100



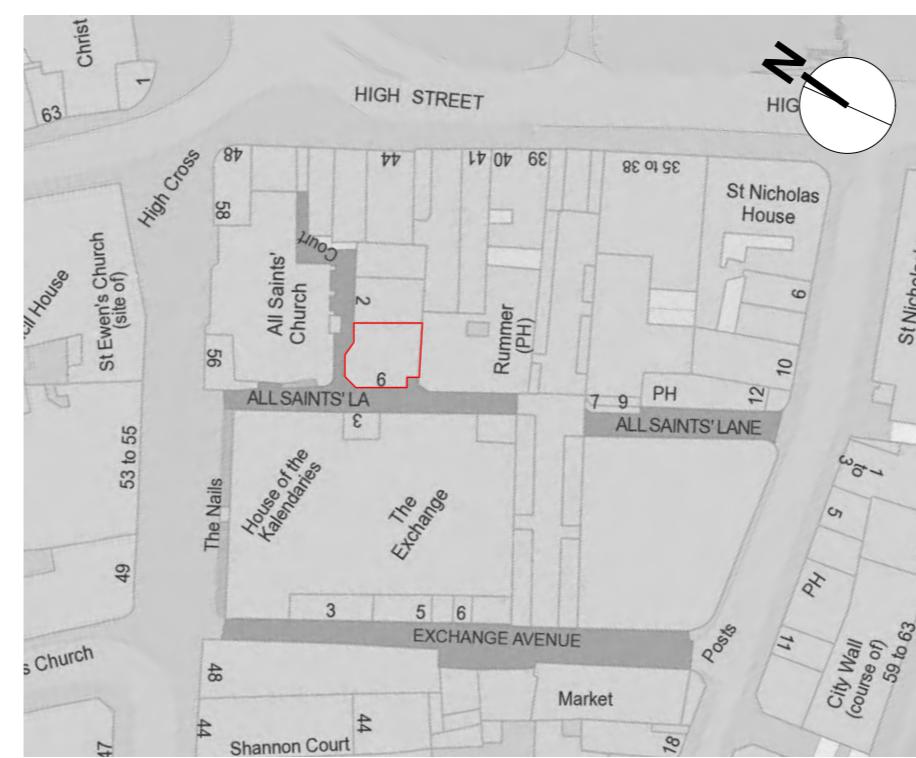
Side Elevation @ 1:100



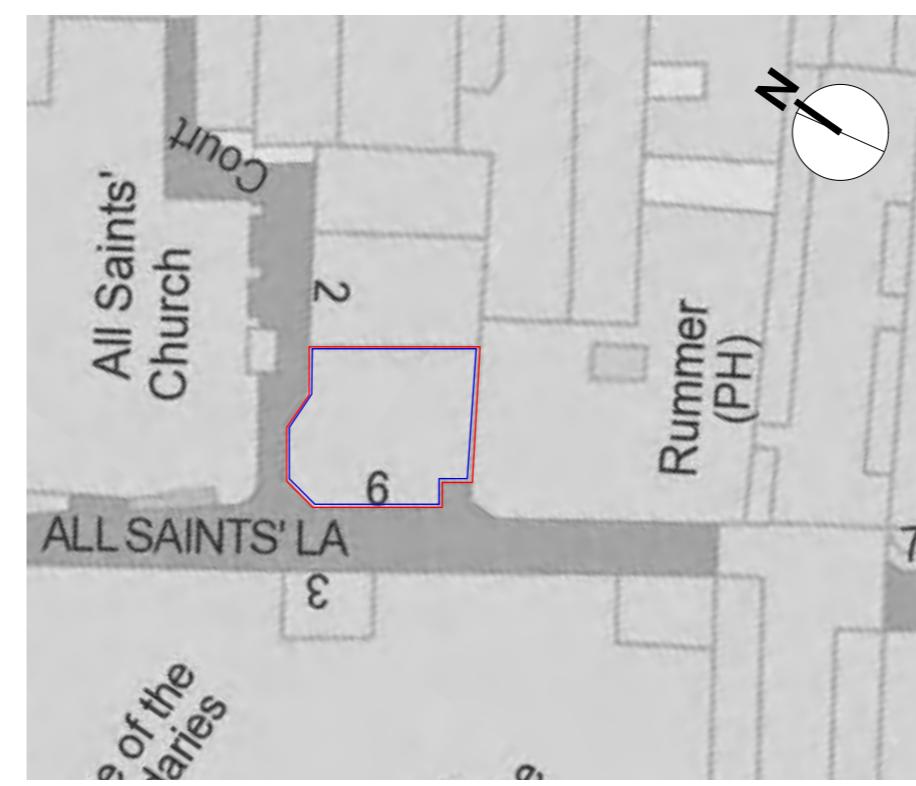
Rear Elevation @ 1:100



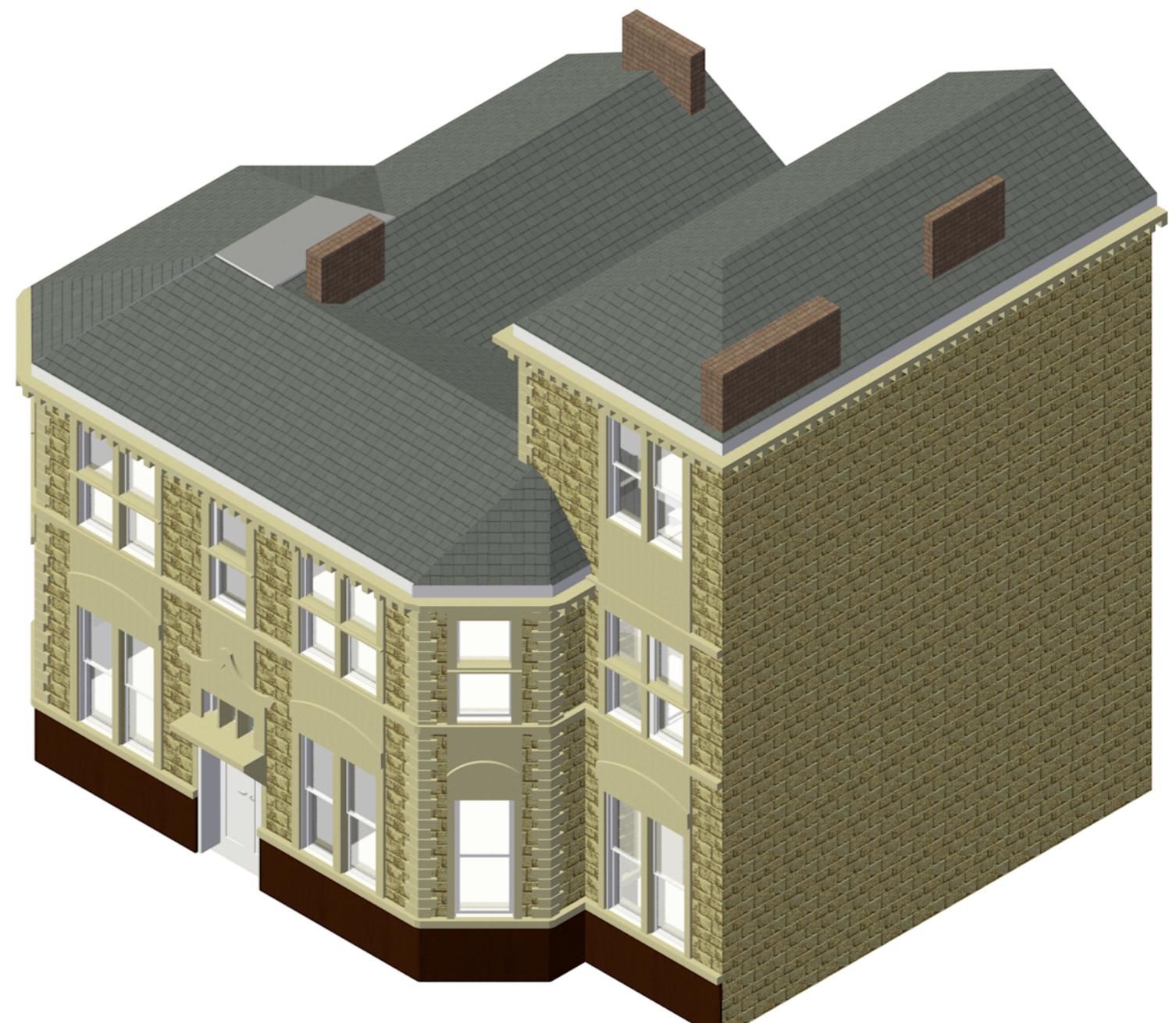
Side Elevation @ 1:100



Site Location Plan @ 1:1250



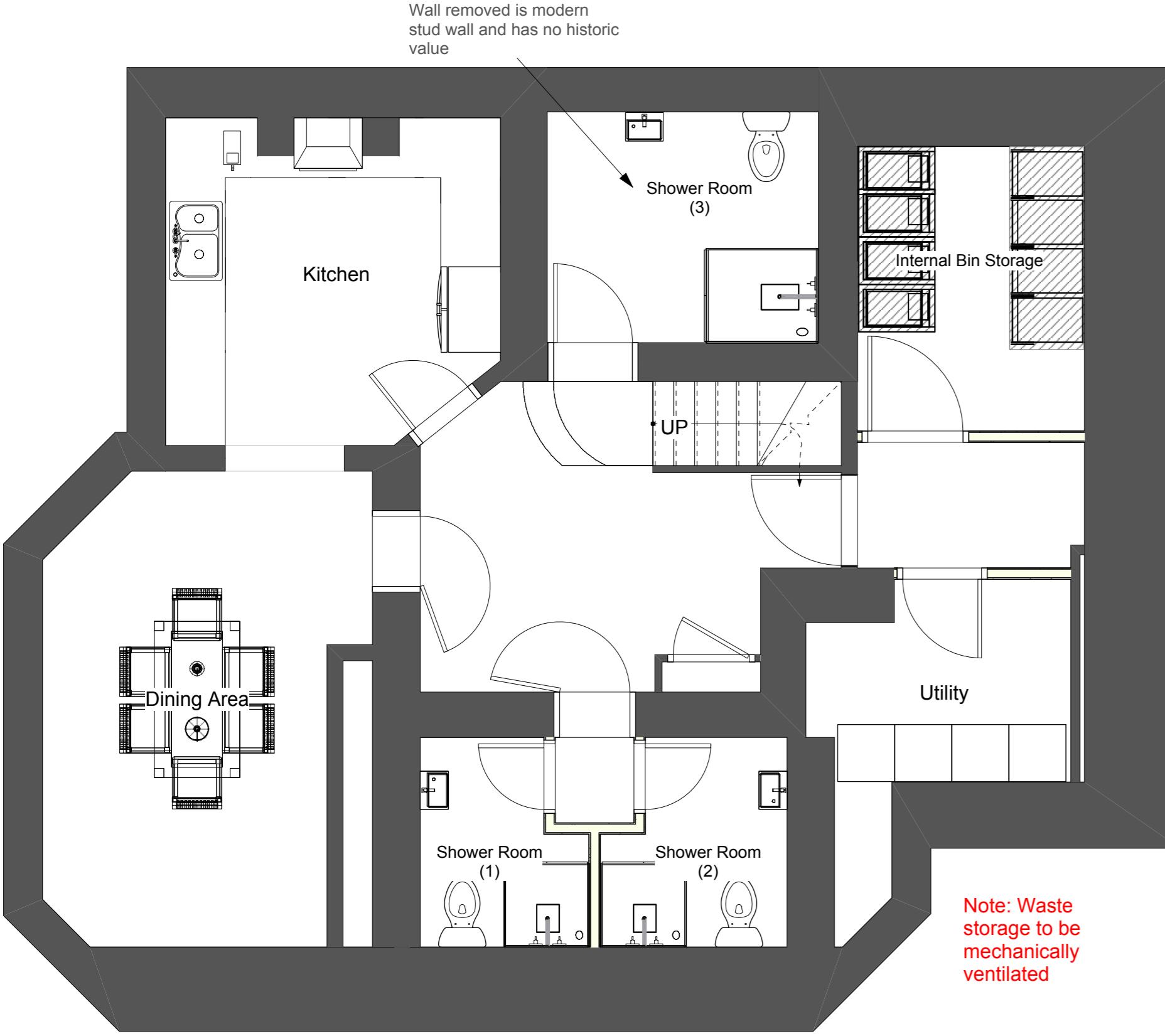
Site Plan @ 1:500



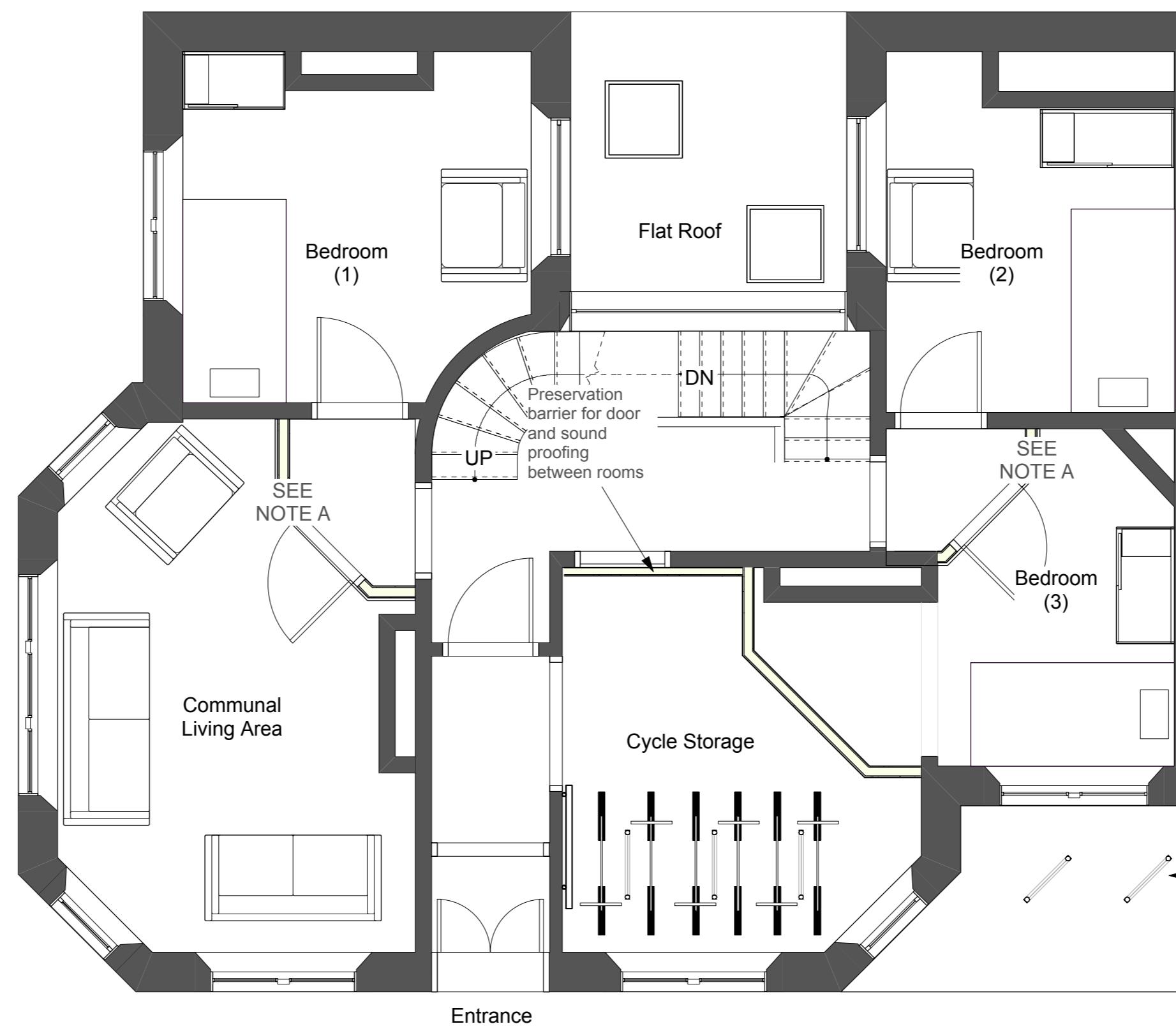
Client:	Mr S Fragapane	Drawing:	Existing Plans Page 2	Project Description:	Revisions:	NB
Address:	6 All Saint's Lane, Bristol, BS1 1JH	Drawn By:	JM		A B C D E	Author Retains Copyright. Responsibility is not accepted for errors made by others in scaling from this drawing. All dimensions, levels and angles to be checked on site by the contractor. All boundaries are assumed and we accept no liability for boundary inaccuracy. You are reminded of your responsibilities under the 'Party Wall etc. Act' 1996 where applicable.

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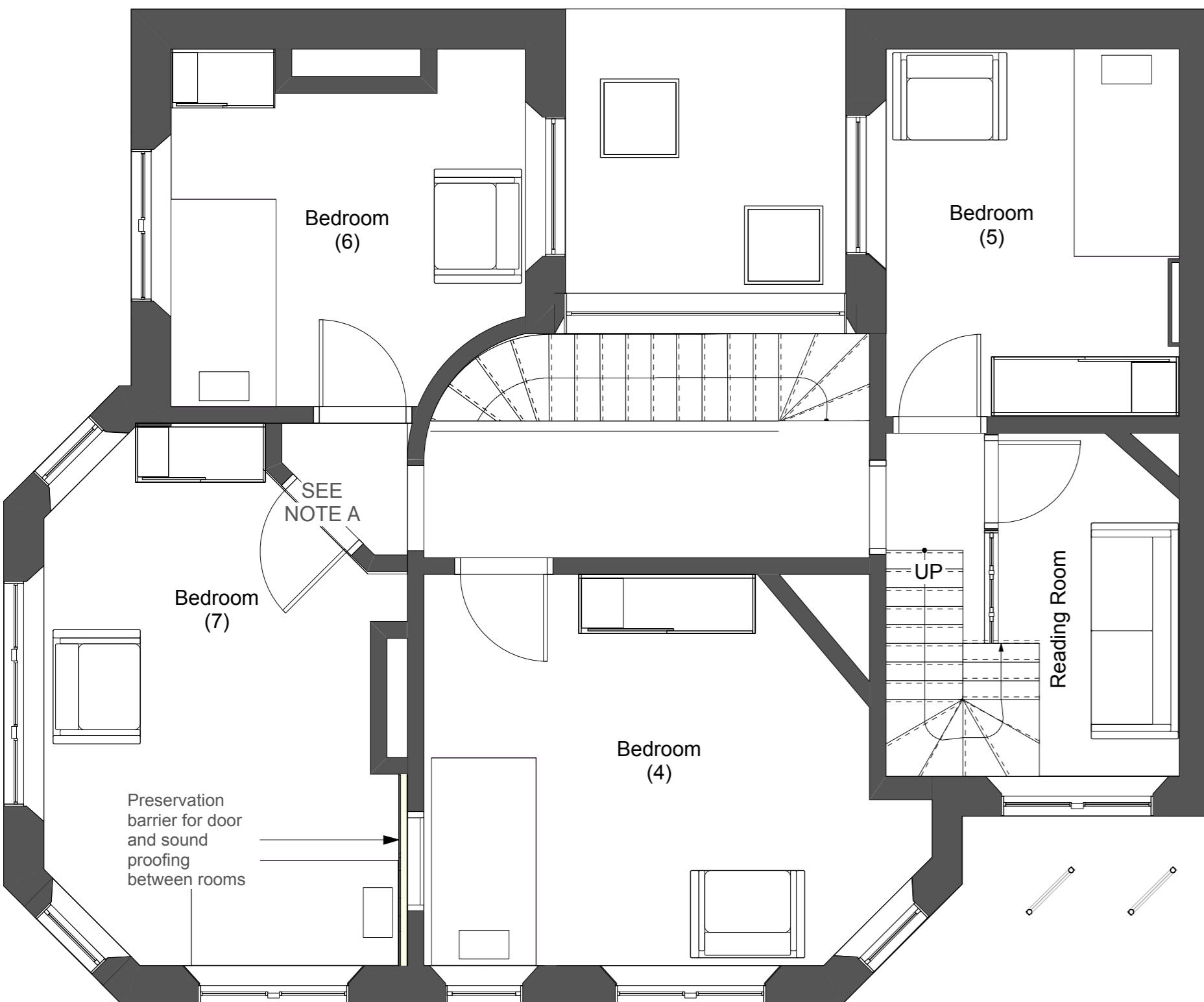
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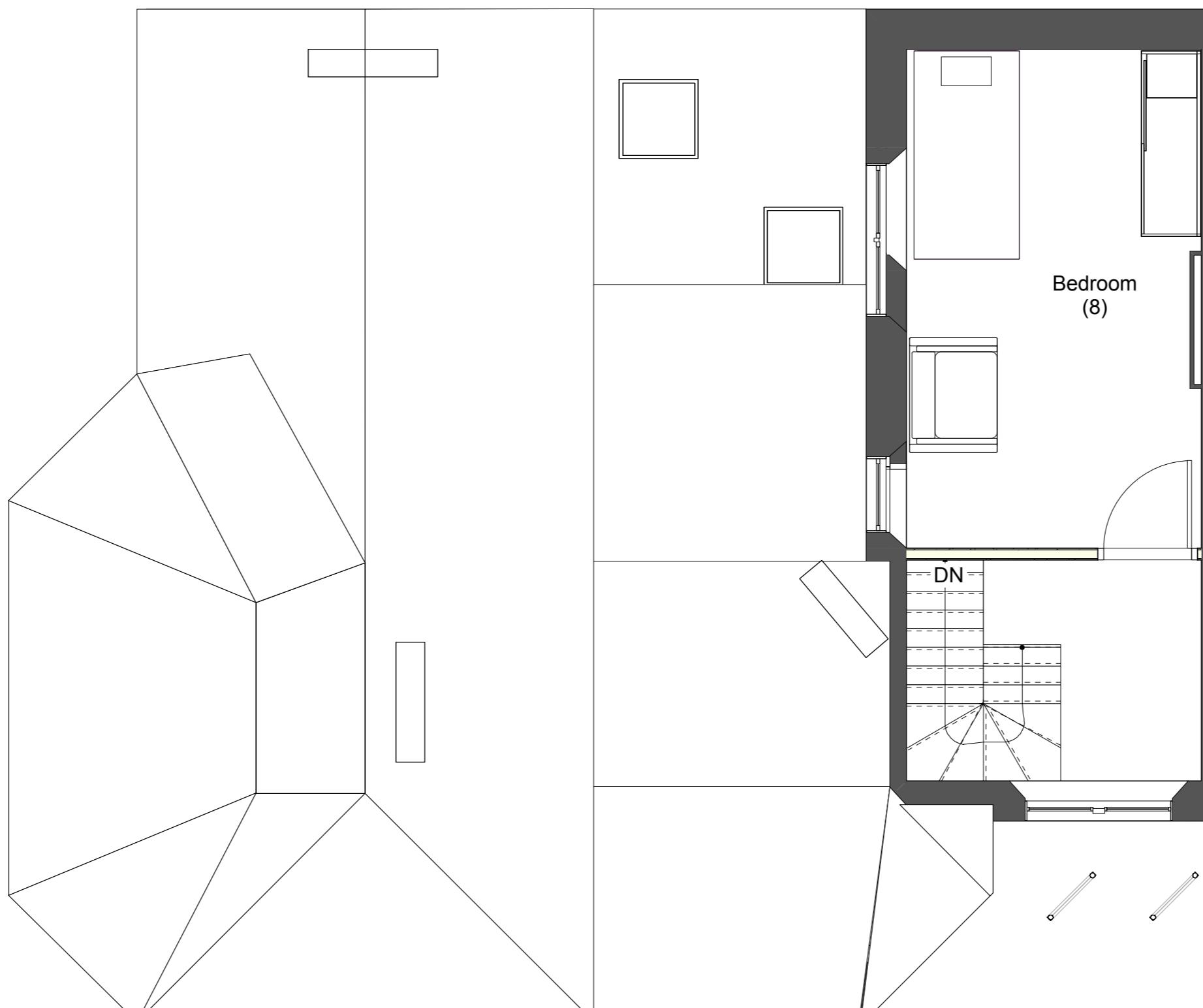
Lower Ground Floor Plan @ 1:50



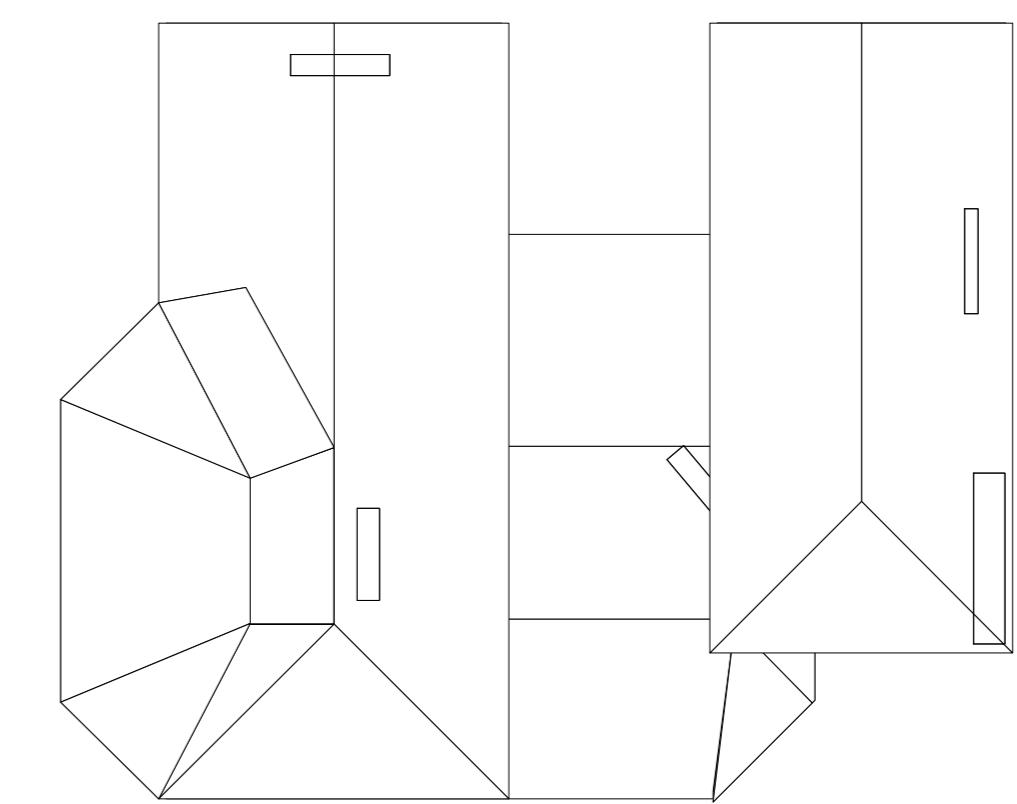
Ground Floor Plan @ 1:50



First Floor Plan @ 1:50



Second Floor Plan @ 1:50



Roof Plan @ 1:100



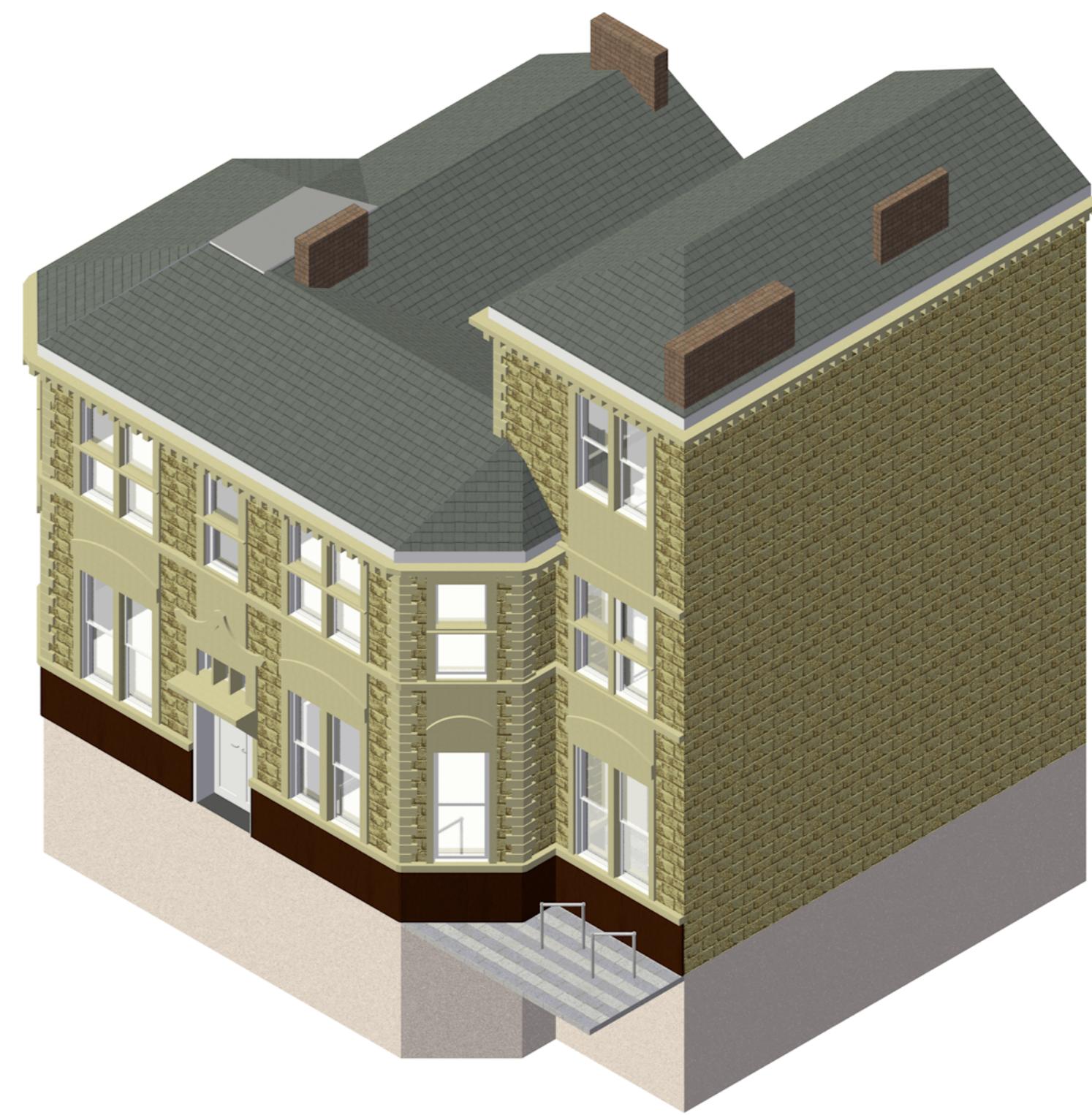
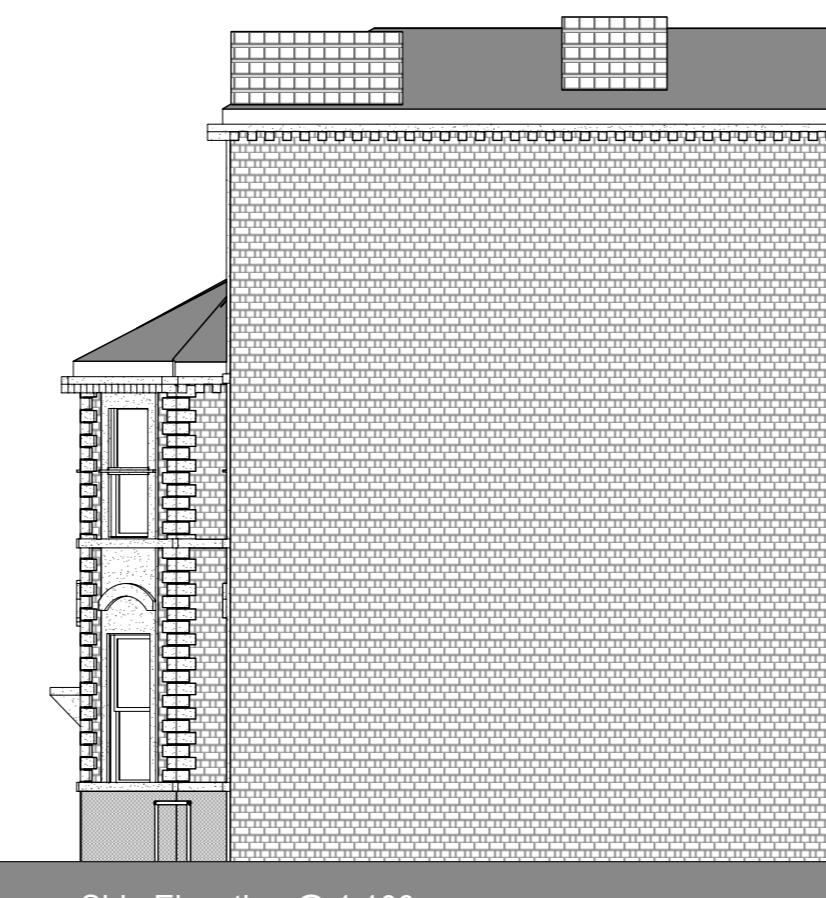
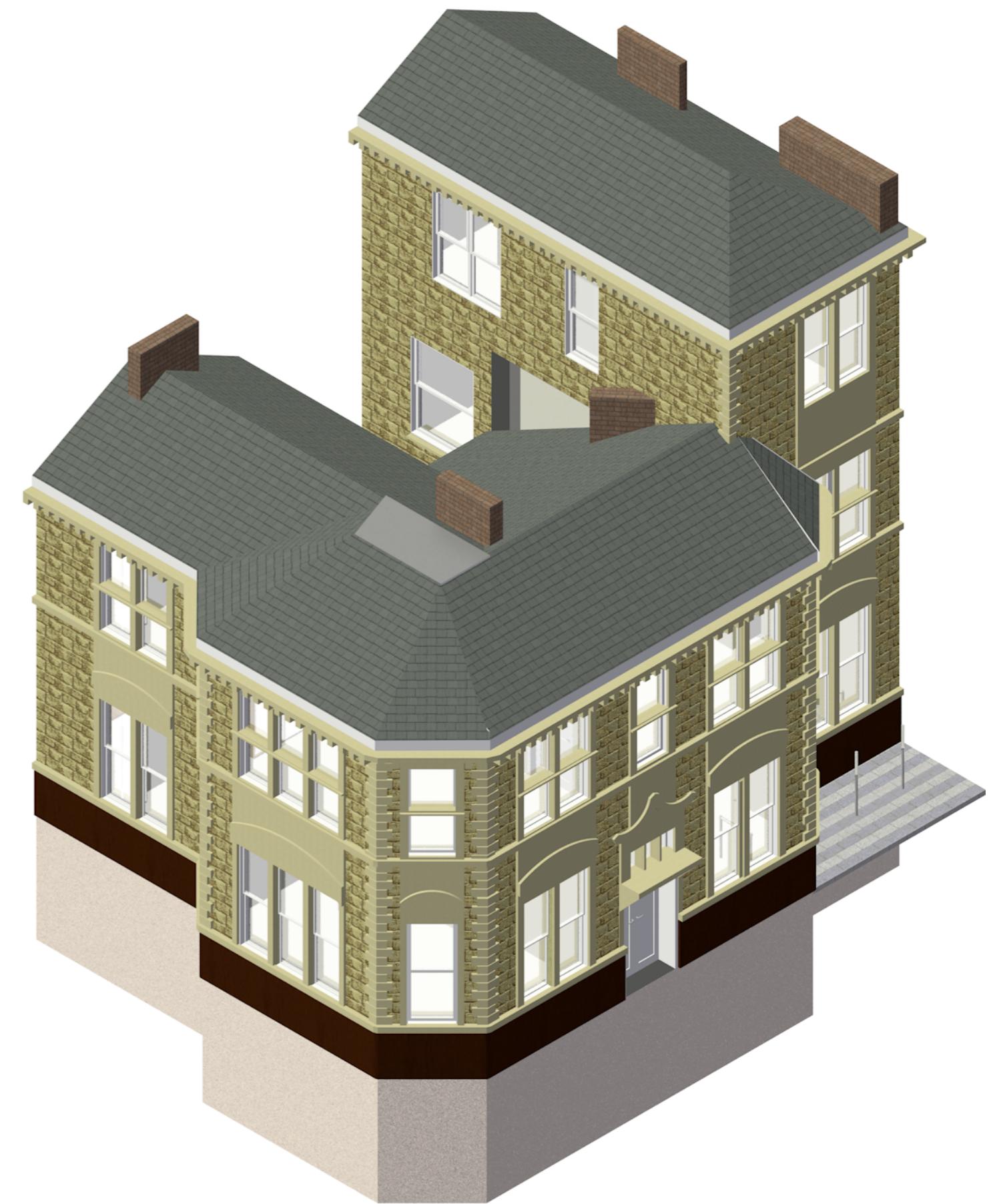
NOTE A:

New lobby between Bedroom's 3 & 1 and lobby between Bedroom's 2 & 5 to be design and built using the example created with the Existing lobby between Bedroom's 6 & 7.

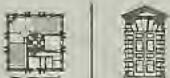
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Client:	Mr S Fragapane	Drawing:	Proposed Plans Page 1	Project Description:	Revisions:	NB
Address:	6 All Saint's Lane, Bristol, BS1 1JH	Drawn By:	JM	Date: 21/12/17 Cad File: 6BS11JH Status: For Comment Scale: Labelled @ A1	A B C D E	<p>Author Retains Copyright. Responsibility is not accepted for errors made by others in scaling from this drawing. All dimensions, levels and angles to be checked on site by the contractor. All boundaries are assumed and we accept no liability for boundary inaccuracy. You are reminded of your responsibilities under the 'Party Wall etc. Act' 1996 where applicable.</p>



Client:	Mr S Fragapane	Drawing:	Proposed Plans Page 3	Project Description:	Revisions:	NB
Address:	6 All Saint's Lane, Bristol, BS1 1JH	Drawn By:	JM		A	Author Retains Copyright.
		Date:	21/12/17		B	Responsibility is not accepted for errors made by others in scaling from this drawing.
		Cad File:	6BS11JH		C	All dimensions, levels and angles to be checked on site by the contractor.
		Status:	For Comment		D	All boundaries are assumed and we accept no liability for boundary inaccuracy.
		Scale:	Labelled @ A1		E	You are reminded of your responsibilities under the 'Party Wall etc. Act' 1996 where applicable.



PLANNING HERITAGE

Conservation Planning Consultancy

Historic Building Assessment: All Saints House, 6 All Saints Lane, Bristol; consideration of proposed conversion to accommodation

The assessment has been revised following revisions to the scheme in which it is proposed to convert the building into a HMO for 8 Nos. occupants with ground floor cycle storage.

By way of background, the proposal relates to conversion of All Saints House, 6 All Saints Lane, Bristol, located within the city centre and the historic core of the city. The building was 'rebuilt' in 1902/03 by the Bristol practice of Oatley and Lawrence. The property was designed to serve as offices for the Vestry of All Saints, however it became for many years the offices of various small firms including solicitors, accountants and auctioneers.

It has recently been sold and commercial occupants have not been forthcoming or seeking to lease the property.

The building was listed at Grade II and was first included on the statutory list in March 1977. The site lies within Character Area I: Old Medieval Core of the City & Queen Square Conservation Area in Bristol.

The scheme includes the following accommodation:

Basement Level:

- bin storage
- utility room
- 3Nos. shower rooms
- kitchen
- dining room in the basement level

Ground Floor:

- communal sitting room
- 3Nos. bedrooms
- cycle storage

First floor:

- 4Nos. Bedrooms
- 1No. reading room

Mezzanine/ Second Floor:

- 1 No. bedroom

Other measurements proposed within the building include a protective cover to the lower flights of the staircase to ensure wear & tear is minimised to the bannister/handrail. This will be in the form of perspex sheeting either side of the bannisters and a protective cover around the newel. A new partition will be built across the ground floor door in the cycle room to reduce noise and offer protection to the existing joinery, all of which will be retained.

In assessing the impact of the proposal upon the historic features within the building, the scheme will include the retention of the safe door in the basement, the formation of a reading area on the first floor next at the foot of the secondary staircase and additional external cycle racks outside the property.

PLANNING HERITAGE LTD

Planning Heritage Ltd, Number 117, 3 Edgar Buildings, George Street, Bath BA1 2EJ

T. 0779 2264297 E. greg@planningheritage.co.uk

Registered Office: The Island House, The Island, Midsomer Norton, Radstock BA3 2DZ

Registered in England, No: 08575028 Director: Gregory Beale

The Character of the application site:

The area is described in the Pevsner architectural guide to Bristol as a 'narrow alley running SE off Corn Street on the E side of the Exchange. S of All Saints' church is All Saints' Court, with modest early C18 town houses of brick. Then Oatley & Lawrence's All Saints' House of 1903, mildly Arts and Crafts and pleasingly done. Red granite plinth contrasting with ochre-coloured Ham stone which has weathered to reveal sedimentary layering. Beyond is the Market Tavern'

Today, these buildings and the pedestrian nature of the lane define the character of the alley in glimpsed views from Corn Street and St. Nicholas Street

The Building:

The building was listed at Grade II in March 1977 and the description states: Office. Dated 1903. Possibly by Oatley and Lawrence. Limestone ashlar, red granite plinth, slate hipped roof. Single-depth plan with a rear courtyard. 2 storeys and basement; 6-window range. A symmetrical front has splayed 1-window corners, and a 3 storeys; 1-window block set back to the right; granite plinth has tall cyma sections between the windows, sill bands, rusticated quoins to an ovolu moulding over the windows and modillion cornice. The doorway has shallow half-pilasters to brackets and a canopy, double 6-panel doors, a 3-light overlight above with raised surround inscribed ALL SAINTS HOUSE/ 1903, and a swan's neck hoodmould. The windows are set in raised full-height sections with square-section mullions, segmental-arched labels on the ground floor and transoms with drip moulds on the first floor. The splayed corners have semicircular-arched ground-floor hoods. Right-hand section has 2-light windows as the ground floor, and a left-hand dated hopper. The left return has splayed corners and a central tripartite window. Leaded upper sashes and plate-glass lower ones. INTERIOR: entrance hall to a rear lateral stair flight, with winder top and bottom sections, column balusters and newels and a ramped, moulded rail, and fireplaces with green tiled surrounds. The limestone is one of the iron-rich orange-coloured stones of Somerset or Dorset. (City of Bristol: City Engineer's Building Grant Plans: Bristol Record Office: 1851-: VOL 50 /FOL 24).

The cartographic and documentary evidence indicates the property was constructed c.1903 on the site of an earlier property. The existing building reflects the footprint of an earlier structure. Oatley & Lawrence Architects submitted the design for the new offices for the Vestry of All Saints. The original plans are held in the Bristol Archives Office and are signed by George Oatley and dated May 1901 and May 1902. Sir George Herbert Oatley (1863-1950) born in Bristol and worked for the Architects Godwin and Crisp in Bristol. After Godwin left for London, Oatley became Henry Crisp's partner in 1889, and at the same time married Edith Lawrence. Oatley's first architectural style was classical, and with his appointment as Architect to the University of Bristol he became a champion of the Gothic tradition. Crisp died in 1896 and Oatley worked on his own until his brother-in-law George C. Lawrence joined him in 1926, by which time Oatley's main work was complete. They were joined by Ralph H. Brentnall in 1947; and continued to practice from 12 Great George Street, Bristol, until Oatley's death in 1950.

Oatley carried out a large amount of work for the University of Bristol including the Wills Memorial Building (started 1912, opened 1925) and the H.H. Wills Physics Department (started 1926, opened 1930), the Bristol Baptist College in Woodland Road, Bristol, (1913-1915), Halls of Residence for Bristol included Wills Hall (1925) and Manor Hall (1932). Other work included the Bristol Homoeopathic Hospital (1908) and also worked on the Bristol Royal Infirmary, and on Bristol General Hospital. Lunatic asylums designed by Oatley and Lawrence include Winwick Asylum in Lancashire, Cardiff Asylum at Whitchurch, and Bristol Asylum at Stapleton.

As this building demonstrates, he also worked for local churches, both in their design, and in financial support for congregations. He also had commissions from local companies including the Fry family chocolate factories in Bristol, and the Bristol Wagon Works.

The plans held in the Bristol Archives show a building designed as a 'block of offices', and the street directories albeit incomplete, show the property was possibly occupied from 1903, however the address (All Saints' House) was not noted until 1909. The plans are marked Proposed 'New Offices, All Saints Lane, Bristol, for the Vestry of All Saints'.

Initially used by Cunningham & Gibaud, auctioneers and valuers, it soon became the offices of other companies including flour importers (Sinnock FW& Co.) and solicitors as well as Cunningham & Gibaud themselves who later become fire loss adjusters. The last directory entry in for 1974, when All Saints House was the address of 3 firms, 2 of which were solicitors and one was a chartered patent agent.

The assessment of the building and the documentary evidence has shown little change has occurred to the exterior of the property, although internally the basement area has been extended and partitions have been inserted on most floors. The large staircase window may be a replacement however, the 1901 plans do show the feature window but not its design. Other changes include the loss of original lantern in the lightwell – it has been replaced with modern flat roof lights and there have been changes to fireplaces.

Assessment of the proposals:

1. The policy context

The test, as set out in s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990, states that when considering whether to grant listed building consent for any works the local planning authority shall have '*special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses*'. Likewise, when considering whether to grant planning permission it states in s.66, that Planning Authorities shall have '*special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses*'.

The Bristol Local Plan Core Strategy adopted June 2011, sets out the relevant policy affecting the historic environment in BCS22 (Conservation and the Historic Environment), which states '*development proposals will safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance*'.

The Bristol Local Plan Site Allocations and Development Management Policies DPD adopted in July 2014 sets out the policy objectives for heritage assets under Policy DM31.

2. The scheme

Following the meeting where concerns were raised about the possible damage of fabric by bins and bikes, an assessment was carried out of how best to achieve a sensible compromise. It was agreed to protect the lower areas of the staircase with a Perspex sheets to ensure damage is minimised and a daily bin collection would be incorporated into the management of the property to reduce the requirement for large wheelie bins. Likewise, the sub-division of rooms was minimised and the new layout reflects those concerns.

The scheme proposes to convert the building into study bedrooms including using the upper level for a sitting area and the basement will provide kitchen and washing facilities. It is clear from the assessment that this is an achievable arrangement.

In Bed 3 a lobby entrance is required and this has been designed to reflect the existing lobby on the first floor, itself a later addition to the planform but one, which does not interrupt or confuse any understanding of the roomplan. In the basement, the strong room doors will be kept in situ, to reflect the former uses.

The initial scheme proposed the installation of an Air Source Heat Pump & Solar panels, however following concerns raised by officers as to their impact upon the historic fabric and character, these have been removed from the scheme in order to ensure there is no adverse impact upon the appearance of the listed building or indeed the lightwell, which is visible through the glazed curtain wall of the staircase. Although these items may have improved the 'energy efficiency' of the project, the fact that the listed building will be reused and fully occupied, is in itself a sustainable and longterm solution to the vacancy of the property.

3. The setting and views

The assessment of the site revealed the interior alterations will not change any views or the setting of the building.

Conclusion

In regard to assessing the impact of the proposed works and change of use, further consideration of the building allowed for a greater understanding of the significance of the listed building and its the contribution to the heritage asset(s), in this case the fabric of the building and its plan form as well as its setting and the contribution towards the wider conservation area, in order to design a successful scheme.

It is apparent that in regard to the understanding of this site and how it will be affected by the proposals, the Historic Environment Planning Practice Guide sets out in paragraph 57 the need to understand the level of

importance of that interest and as such these proposals will preserve the significance of the site, which is derived from its cellular layout and the surviving room plan which will remain unaltered. It is considered this scheme can be achieved with a minimum level of intervention, in the form of protection measures and is one that does no harm to the property by ensuring the changes are not dominant, stand out or indeed are 'out of character'. They successfully achieve a design solution without compromising the integrity of the context in which it is located.

Further analysis of the site has revealed the property has not attracted or secured a commercial tenant and as a result a change of use into student accommodation will allow the property to be modestly converted with the minimum of interior changes and alteration. This will result in a building that continues to contribute to the streetscene and vitality of the city. The result of the proposed scheme will preserve the setting as well as enhance the character and appearance of the site and the wider context and as such, when considered against the policy and guidance on the historic environment including the Planning (Listed Buildings and Conservation Areas) Act 1990 Sections 16, 66 and 72.

Figures:

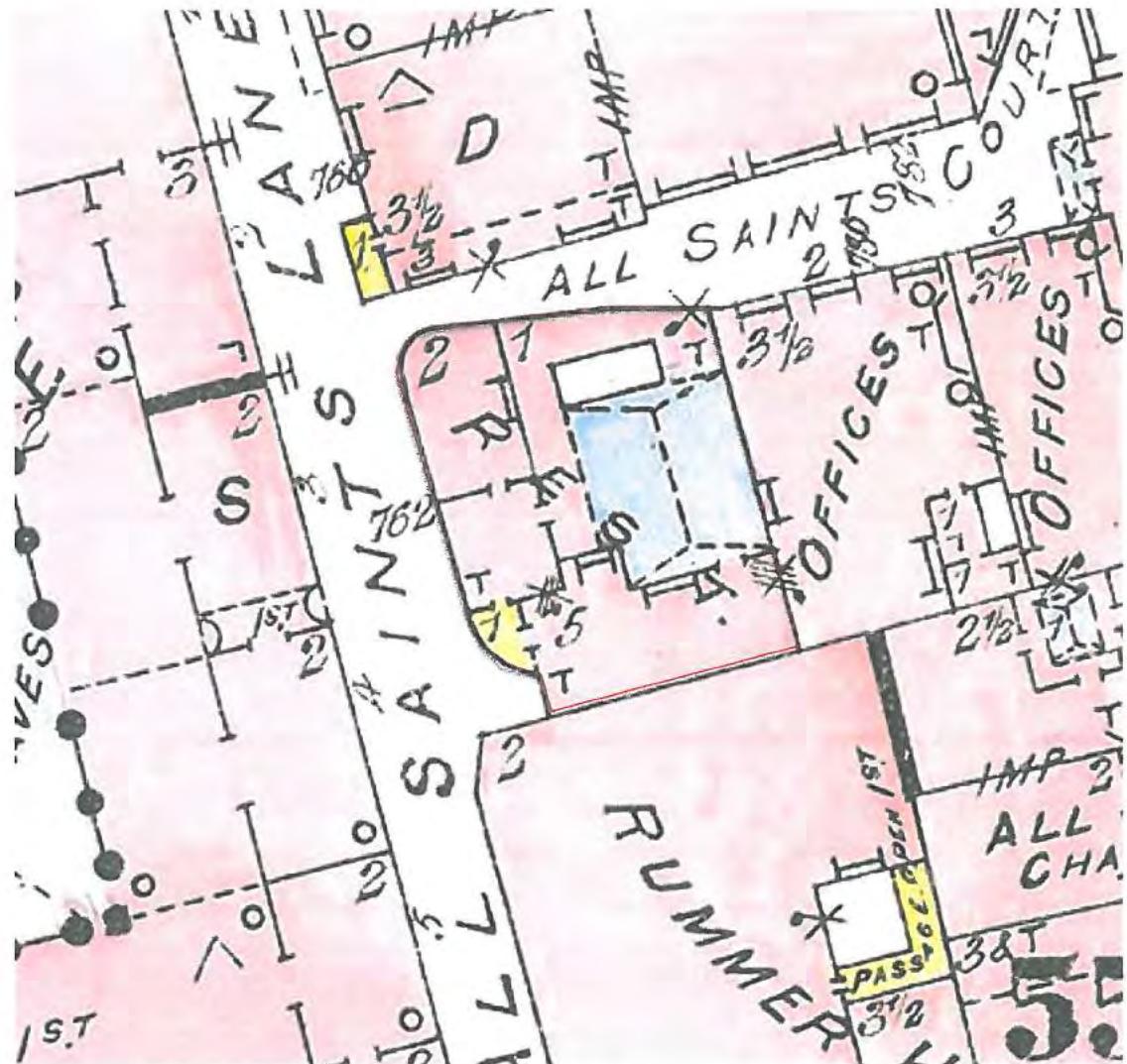


Figure 1: Extract from Goad's Insurance map of Bristol 1887 showing the plot prior to the redevelopment of the site by Oatley

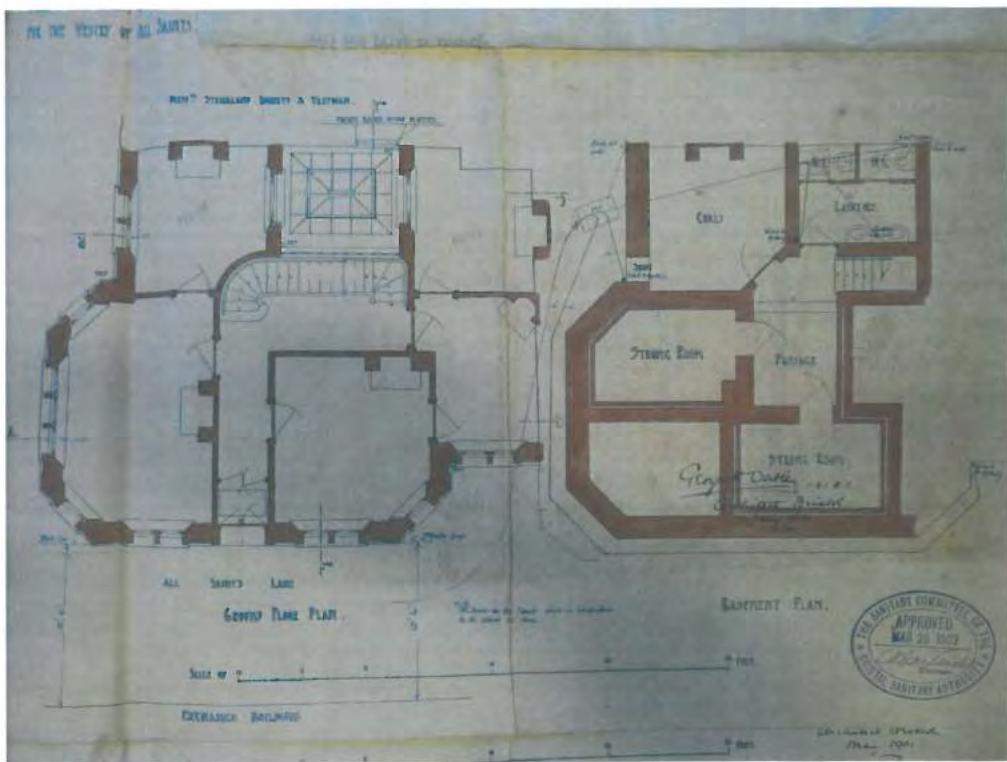


Figure 2: Plan of All Saints' House, Oatley & Lawrence; signed and dated May 1901

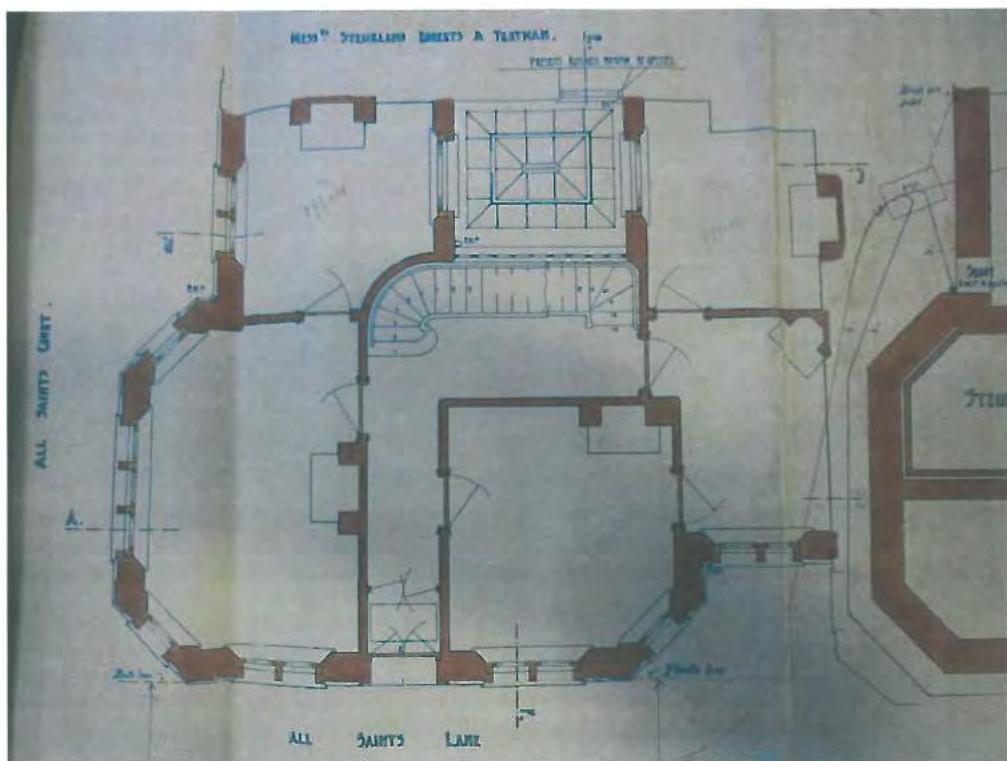


Figure 3: Plan of All Saints' House, ground floor

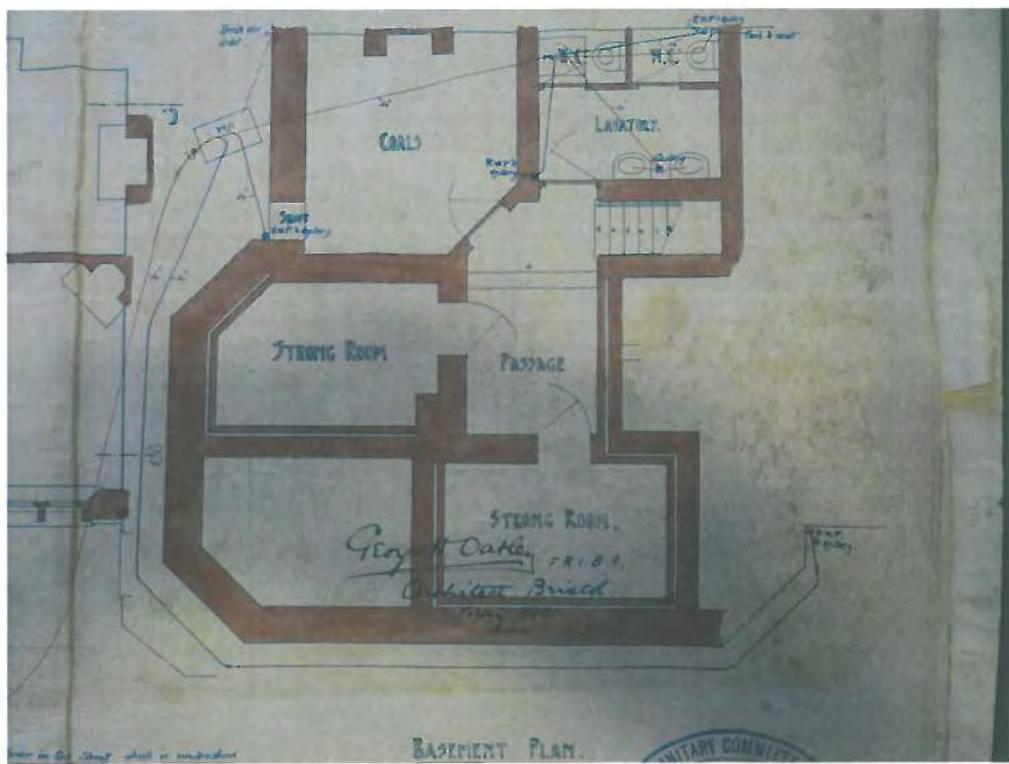


Figure 4: Plan of All Saints' House; basement level before extension to the right side

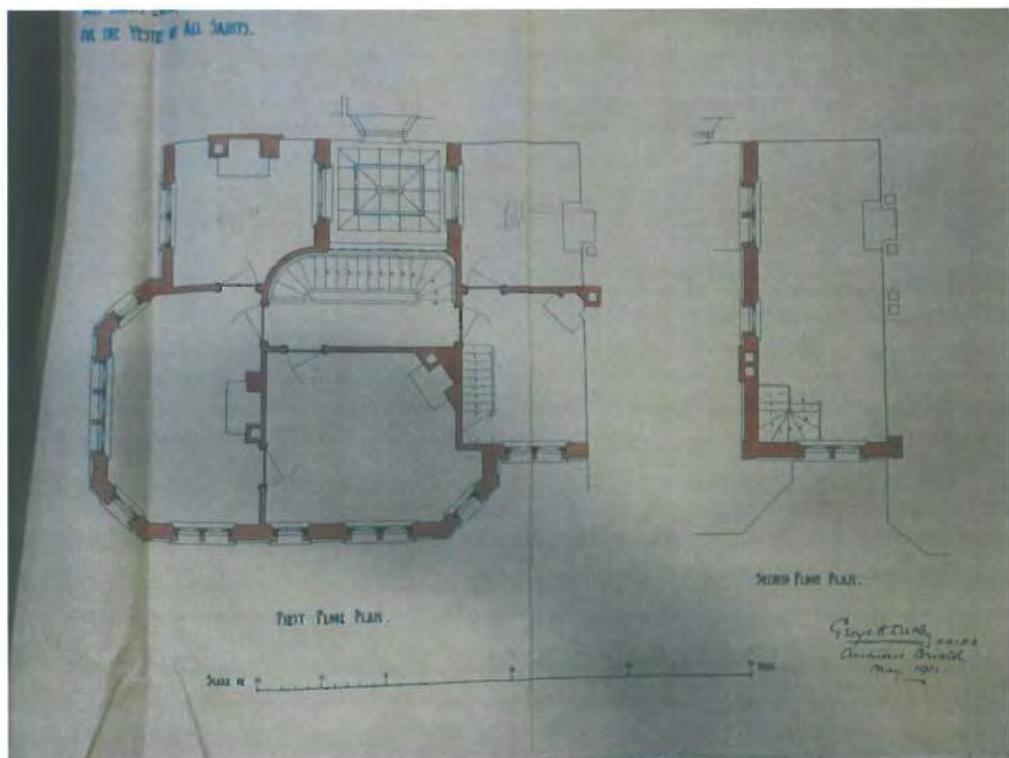


Figure 5: Plan of All Saints' House; First and second floors

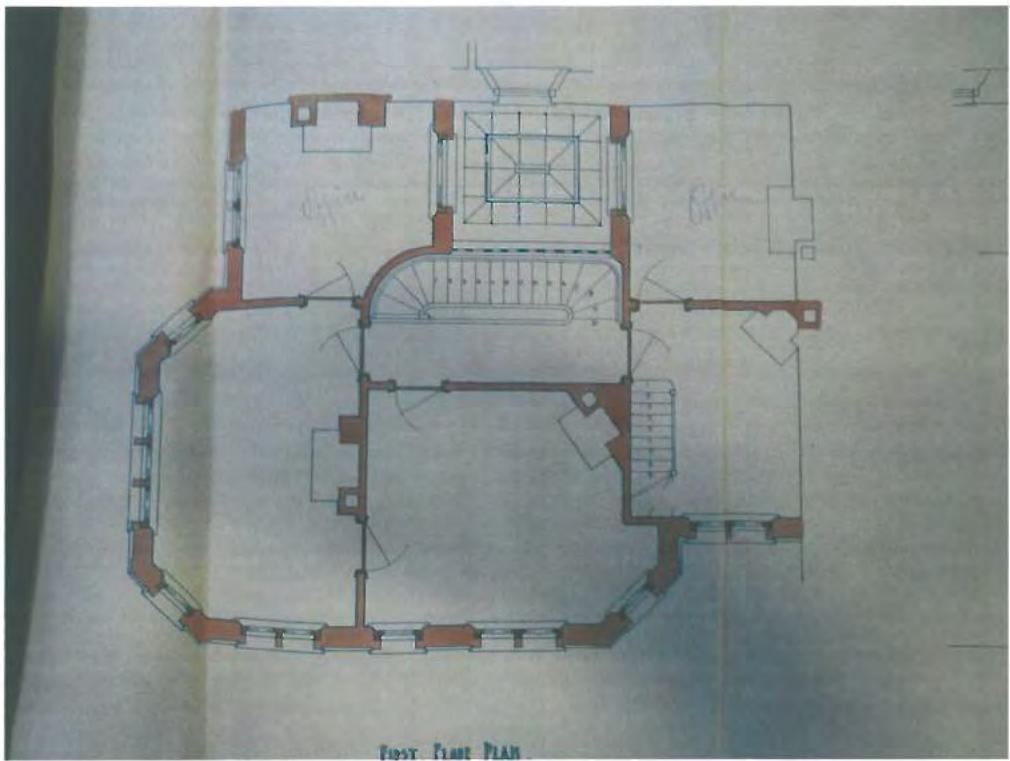


Figure 6: Plan of All Saints' House, first floor room plan

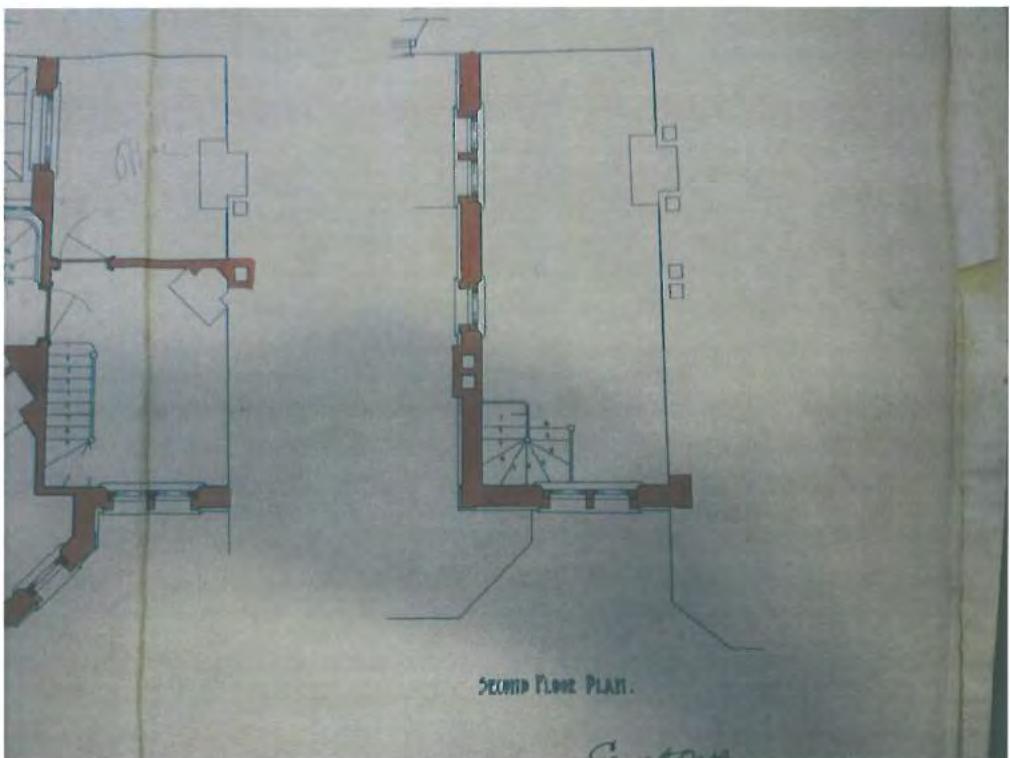


Figure 7: Plan of All Saints' House, second floor

Photographs



Photograph 1: All Saints House, Bristol; front elevation



Photograph 2: All Saints House, Bristol; front elevation from the south



Photograph 3: All Saints House, Bristol; front elevation with additional storey to southern side



Photograph 4: All Saints House, Bristol; rear/side elevation



Photograph 5: All Saints House, Bristol; lightwell and glazed tile elevation



Photograph 6: All Saints House, Bristol; lightwell and staircase elevation



Photograph 7: The staircase from ground floor



Photograph 8: View of the staircase and lighowell window from first floor landing



Photograph 9: View of the ground floor front office



Photograph 10: View of the ground floor office on north side



Photograph 11: View of the ground floor office on north side



Photograph 12: View of the first floor office with lobby entrance on north side



Photograph 13: View of the second floor office in 'tower' on south side with modern partition



Photograph 14: View of the second floor office

MANAGEMENT PLAN

6 ALL SAINT'S LANE
BRISTOL
BS1 1JH

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1. Introduction

This statement has been prepared to support the planning application for 6 All Saints Lane, Bristol, with regards to access to the property. The planned work is for conversion of the building into a HMO for 8 occupants (Sui Generis).

2. Site Description and Context

The site is located in the St. Nicholas Market area of the city centre, on the pedestrianized All Saints Lane. Access to the property is through the main front door on the lane, which is in turn accessed at either end by St. Nicholas Street and the also pedestrianized Corn Street.

3. Means of Access

There are two car parks within 5 minutes walk of the property, the closest being the Galleries shopping centre car park on Wine Street. The other is the NCP multi-story car park situated on Nelson Street. The Galleries car park is open 7 days a week. Monday to Saturday the opening times are 8am – 11pm with last entry at 10pm. On Saturdays the times are 10am – 6pm with last entry at 5pm. Prices start at £1.50 for up to 1 hour. The Nelson St. NCP car park is open 24 hours a day, 7 days a week. The price starts at £2.50 for up to 30 minutes. On weekends however, up to an hour is £2 and every hour subsequent is another £1.

Local parking is also likely to be used, this can be found on Broad Street or St Nicolas Market in the form of pay and display (see images below). The occupants are likely to be working in the centre of Bristol so the need for a car to be kept locally will be minimal. If however the property was rented to students they will be encouraged to use the local car parks instead of the on-street parking and that they should park legally at all times. This information will be provided in an information pack handed to the occupants and included with the tenancy agreement or included in the email of moving in days mentioned later in this document. All efforts including notices in the property will be provided to ensure we go above and beyond to encourage legal parking at all times.

There are also bus links from the city centre stops, located a 5 minute walk away. From there, buses access all the main transport locations in Bristol.

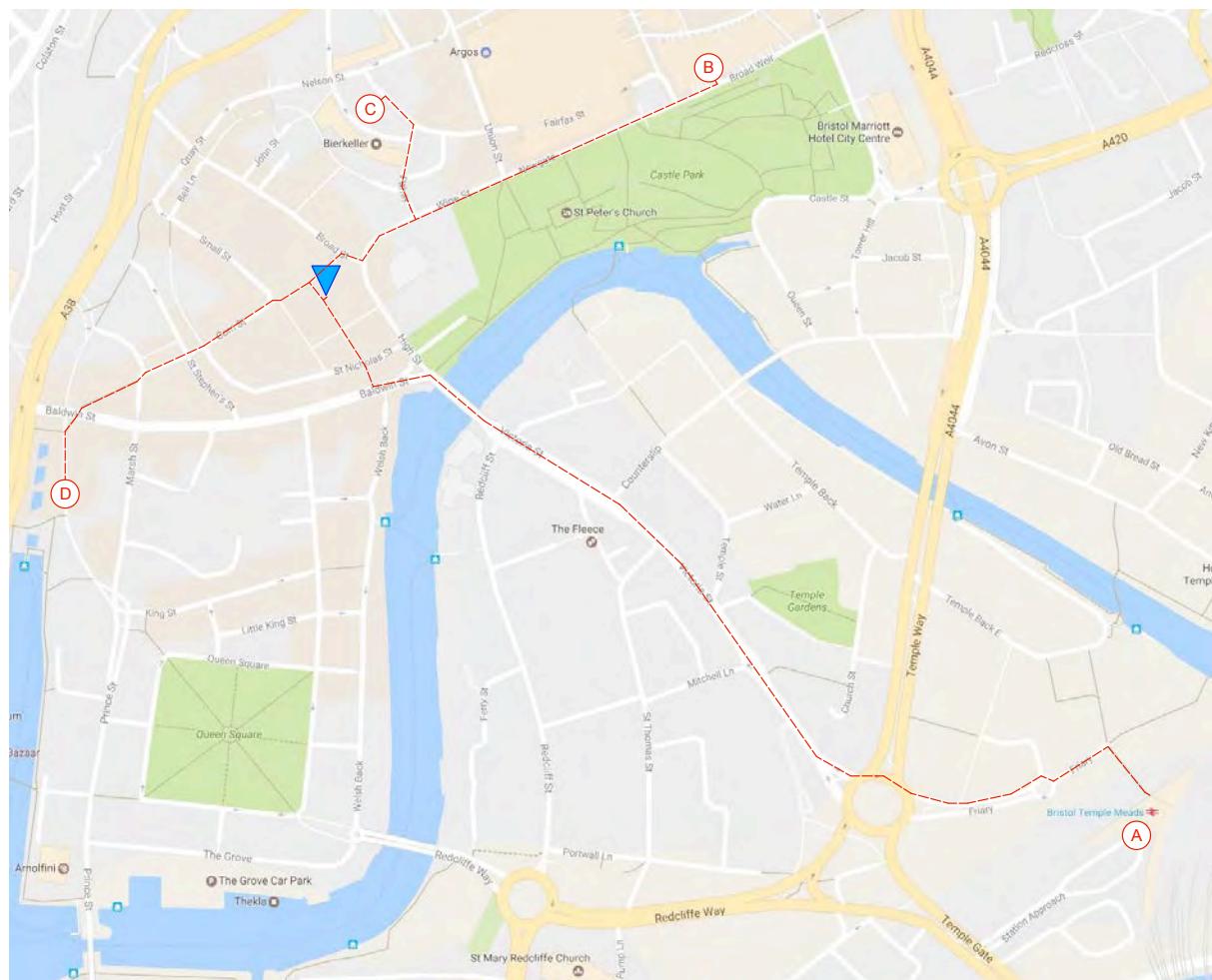
The other option for access is via Temple Meads train station. This is situated 15 minutes walk from the property and would be the main option for occupants or visitors arriving via train from the rest of the country.

The property is in a highly sustainable location within the heart of the city centre of Bristol.

The locations of these and the walking routes to and from the property are shown below:



- Property Location
- A - Temple Meads Train Station
- B - The Galleries Car Park
- C - Nelson Street NCP Car Park
- D - City Centre Bus stops



4. Arrival Plans (Students)

To future proof the proposal it may be that during the building's lifetime the use becomes suitable for students. If the accommodation was to be used for students it is proposed that before the term begins two 'moving in days' will be offered. The management team will offer a selection of weekend dates to all proposed tenants via email, the students can then put forward their preferred dates and agree on two days over one weekend that they will be able to deliver items considered to be large items such as TVs, computers and household items. It is proposed that the rooms will be suitably furnished to keep to a minimum the large items needed to be carried into the property.

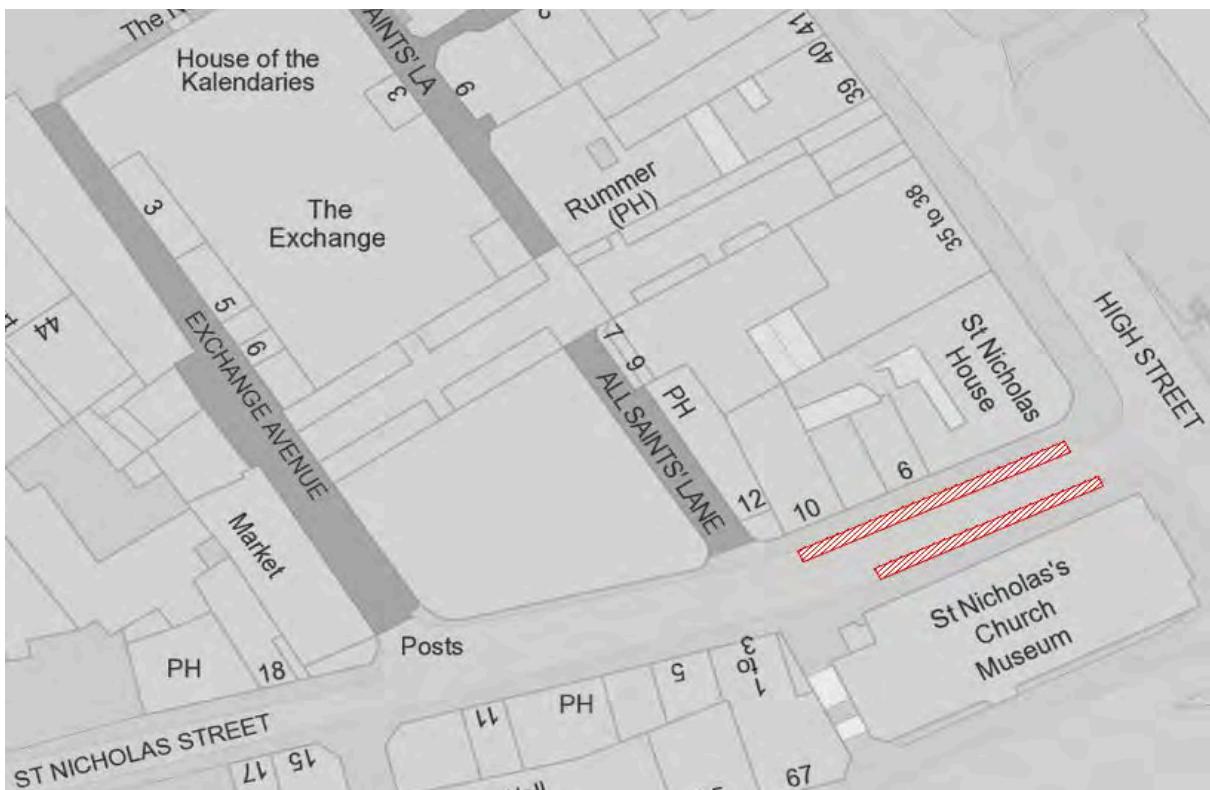
Over the two days of arrival the new occupants will be given 2-hour time slots to move items into their rooms and the communal area. The students on a first come first served basis will select these time slots. It is suggested that a maximum of two students can move in during a specific time period.

Examples of these time slots being selected are listed below:

Saturday	Room Number	Student Name
Slot 1: 9.30am-11.30am		
Slot 2: 9.30am-11.30am		
Slot 3: 11.30am-1.30pm		
Slot 4: 11.30am-1.30pm		
Slot 5: 1.30pm-3.30pm		
Slot 6: 1.30pm-3.30pm		

Sunday	Room Number	Student Name
Slot 1: 9.30am-11.30am		
Slot 2: 9.30am-11.30am		
Slot 3: 11.30am-1.30pm		
Slot 4: 11.30am-1.30pm		
Slot 5: 1.30pm-3.30pm		
Slot 6: 1.30pm-3.30pm		

During the hours of arrival on the agreed weekend, we plan to apply to reserve a minimum of one on-street pay and display parking bay on St Nicholas Street. This will be done so through the following website link and in the locations shown below:
www.bristol.gov.uk/en_US/parking/susensions



5. Waste Management Plan

The waste collection will be managed by a private contractor working on behalf of the landlord and his company to ensure that no waste is stored, or disruption is caused to the street front. The operatives are trusted employees who have access to manage all of the landlord's properties when required.

Waste will be collected from the 'internal bin storage' located on the basement level by the contractor who will have access to the property at a set time period of 1 hour. The waste will be collected and transferred straight to the Council Civic Amenity Recycling Centre.

The waste storage area inside the property will accommodate separate boxes for recycling and general waste, as it is important to encourage recycling. Inside the 'internal bin storage' will be the following.

4 x General waste bin

4 x Waste bin for items associated with Bristol City Council's Black Box

4 x Waste bin for items associated with Bristol City Council's Green Box

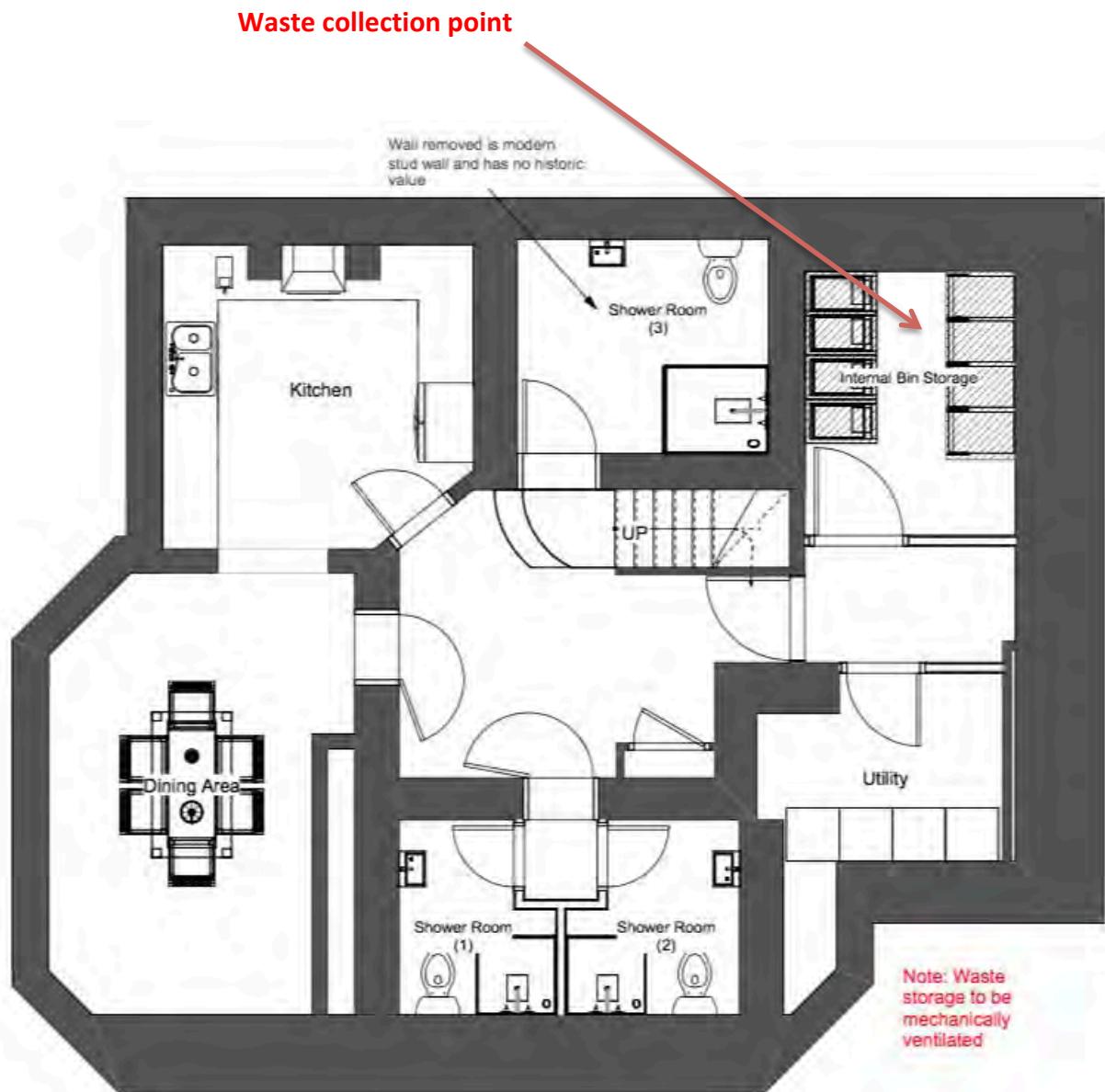
4 x Waste bin for items associated with Bristol City Council's Brown food waste

All bins will be emptied, double bagged and taken to the local Recycling Centre.

Collection time: This set time will be listed in the welcome pack given to all occupants before they move in. An example time would be 10-11am. This would allow for collection when the house would be mainly empty and cause minimal disruption to the tenants. The collection is predicted to take no longer than 20 minutes.

Collection days: All waste will be collected on a Monday, Wednesday and Friday of every week. Bank holidays and Christmas holidays may require a change of day that will be agreed and all residents notified.

Operatives parking and route: The operatives will park on Broad St or St Nicholas Street in a legal parking space. They will then walk along Corn Street to access All Saints Lane. All waste will be double bagged to ensure no spillage during transportation to the vehicle.





High Street Parking (above)



Broad Street Parking (above)